

Board of Architectural Review

AGENDA

City Hall in Council Chambers

Wednesday, April 15, 2026

5:30 pm

- I. Addenda to Agenda**
- II. Approval of Minutes** – from March 18, 2026
- III. Old Business**
 - BAR-26-14 113 N Main St (minor changes to BAR approval)
- IV. New Business**
 - BAR-26-8 121 N Main St (Millies sign)
 - BAR-26-16 1001 S McDuffie St (Lowcountry Male sign)
- V. Board Business**
- VI. Staff Report**
- VII. Adjourn**

**CITY OF ANDERSON
BOARD OF ARCHITECTURAL REVIEW
MINUTES
Wednesday, March 18, 2026
5:30 pm**

MEMBERS PRESENT: Billy Zion, Michael Cousar, Bill Johnson, Amanda Knobel, Gia Townsley, Mary Lou Gambrell

MEMBERS ABSENT: Jill Helgeson

STAFF PRESENT: Christopher Darnel, City Planner
Shalandrea Geer, Administrative Assistant

OTHERS PRESENT: See sign-in roster.

CALL TO ORDER

The meeting was called to order by Bill Johnson.

ADDENDA TO AGENDA

None

APPROVAL OF MINUTES

A motion by Mary Lou Gambrell, a second by Billy Zion (7-0), to approve the minutes from January 21, 2026.

BAR-26-3

129 N Main St (BR Building sign)

The applicant is proposing a halo illuminated logo box to replace current signage above the Main Street door. The façade of the building appears to have been designed to accommodate a sign in this location.

When reviewing this application, the Board should focus on the standards set forth in Chapter Eight of the Design Guidelines for Downtown Anderson – Design Guidelines for Signs. The following sections apply to this request:

Policy: Design a sign to be in balance with the overall character of the property.

8.1 - Consider the building front as part of an overall sign program.

- Coordinate a sign within the overall facade composition.

Policy: Appropriate signs include freestanding, flush mounted, window, projecting, hanging, awning and directory signs.

8.4 - A flush-mounted wall sign may be considered.

Policy: A sign should be in character with the material, color and detail of a building.

8.13 - Sign materials should be compatible with that of the building facade.

8.15 - Use colors for the sign that are compatible with those of the building front.

Staff recommends approval as submitted. The proposed sign complies with the minimum requirements of the Sign Ordinance and the Design Guide.

Applicant is present.

A motion was made by Amanda Knobel, with a second from Gia Townsley, and carried (6-0) to approve as submitted.

BAR-26-5

502 N Main St (Pilates Social sign)

The applicant is proposing internally lighted channel Letters and logo mounted on studs. This is the preferred sign application envisioned in the sign ordinance approved in 2023.

When reviewing this application, the Board should focus on the standards set forth in Chapter Eight of the Design Guidelines for Downtown Anderson – Design Guidelines for Signs. The following sections apply to this request:

Policy: Design a sign to be in balance with the overall character of the property.

8.1 - Consider the building front as part of an overall sign program.

- Coordinate a sign within the overall facade composition.

Policy: Appropriate signs include freestanding, flush mounted, window, projecting, hanging, awning and directory signs.

8.4 - A flush-mounted wall sign may be considered.

Policy: A sign should be in character with the material, color and detail of a building.

8.13 - Sign materials should be compatible with that of the building facade.

8.15 - Use colors for the sign that are compatible with those of the building front.

Staff recommends approval as submitted. The proposed sign complies with the minimum requirements of the Sign Ordinance and the Design Guide.

Applicant is not present.

A motion was made by Billy Zion with a second from Mary Lou Gambrell, carried (6-0) to approve as submitted.

BAR-26-7

215, 217 & 219 S Main St (exterior renovations) / Preliminary Certification Special Property Tax Assessment for Rehabilitated Properties

The applicant is requesting approval of the proposed renovations to 215, 217, & 219 S Main St. The proposed work will precede plans to expand Church Street Heritage Plaza to the adjacent section of Church St. The scope of work is as follows:

- 215 S Main:
 - New historic store front - painted Sherwin Williams 6188 Shade Grown,
 - Brick detailing to match 219 building,
 - Painted Benjamin Moore 2005-10 Red Rock,
 - Pop up roof top - painted Sherwin Williams 7062 Rock Bottom with black metal accents (including fixtures and railing).
- 219 S Main:
 - New historic store front - painted Sherwin Williams 6188 Shade grown,
 - Main St. façade – painted Sherwin Williams 7506 Loggia,
 - Church St façade – sand blasted brick, left natural,
- 217 (fronting Church St.)
 - New store front including historic recessed entry,
 - Brick left natural,
 - Stone Accents – painted Benjamin Moore HC-169 Coventry Grey

When reviewing this application, the Board should focus on the standards set forth in Chapter 3, 5, and 10, the Design Guidelines for downtown Anderson. The following sections apply to this request:

Policy: Original architectural details should be preserved in place whenever feasible.

3.1 Avoid removing or altering any significant architectural detail.

- Do not remove or alter architectural details that are in good condition or that can be repaired in place.

3.2 Avoid adding elements or details that were not part of the original building.

3.14 A simplified version of the original may be considered. Be sure to use the major lines of the original detail.

Policy: Maintain an historic storefront and all of its character-defining features.

5.1 For a commercial storefront building, a rehabilitation project shall preserve these character-defining elements:

- Display windows: The main portion of glass on the storefront, where goods and services are displayed. This will help maintain the interest of the street to pedestrians by providing views to goods and activities inside first floor windows.
- Transom: The upper portion of the display window, separated by a frame.
- Kickplate: Found beneath the display window. Sometimes called a bulk-head panel.
- Entry: Usually set back from the sidewalk in a protected recess.

- Upper-story windows: Windows located above the street level. These usually have a vertical orientation.
- Cornice molding: A decorative band at the top of the building.
- These features shall not be altered, obscured or removed.

10.1 Use colors to tie together the entire storefront.

- Consider the building as a whole, and then decide which details to emphasize.
- Using the same color on the same architectural elements (i.e., window frames) can reinforce the patterns which tie together the storefront.

10.2 When choosing a color, consider the context or major colors on the surrounding buildings.

- Brick and masonry colors are common in the Downtown.
- Muted and compatible tones should characterize a building.
- Avoid bright high-intensity colors.

Each case is a unique combination of design variables and, as a result, the degree to which each relevant guideline must be met may vary. In making its determination of the appropriateness of a project, the Board should remember the City’s overall goals and concerns for the Downtown district:

1. The proposed work complies with the criteria in its ordinance.
2. The integrity of an individual historic structure is preserved.
3. New buildings or additions are designed to be compatible with surrounding historic properties.
4. The overall character of the Downtown is protected.

RECOMMENDATION

The proposed renovations bring the structure closer to a historically accurate storefront and comply with the Design Guide.

Staff recommends approval as submitted.

A motion was made by Billy Zion with a second from Amanda Knobel, carried (6-0) to approve as submitted.

BAR-26-4

415 Westview Ave. (Hood Residence color change and accessory bldg.)

The applicant is seeking approval of post installation changes to what was approved by the BAR 2023.

When reviewing this application, the Board should focus on the standards set forth in Chapters 5 and 6 of the Design Guidelines, Historic Districts in Anderson, South Carolina.

Policy: A fence or site wall should be in character with those used traditionally and relate to the principal structure on a lot.

5.8 Appropriate materials for fences that can be seen from the public right-of-way are wrought iron or wood picket.

Policy: Maintain the pattern in which buildings relate to the street.

- 6.1 A building should fit within the range of yard dimensions seen in the block.
- 6.2 Maintain the spacing of side yards.
- 6.4 Design a porch to be similar to those seen historically.

Policy: Design a new building to reinforce a sense of human scale in Anderson.

6.12 Eave depths, facia, soffits, and cornice trims as well as porch columns and supports and other decorative details should be compatible with those of historic houses.

Policy: Use building materials that appear similar to those used traditionally in Anderson.

- 6.13 Traditional materials such as stone, stucco, brick and painted wood shingles are appropriate for new construction.
- 6.15 The use of masonry that appears similar in character to that seen traditionally is also appropriate.
- 6.16 New materials that are similar to traditional materials may be considered.

Policy: Design a new building to be visually compatible with nearby historic resources.

- 6.19 Architectural details should appear similar to those seen traditionally.
- 6.22 Maintain the alignment of horizontal elements along the block.

Policy: The incorporation of a porch in the design of new house is strongly encouraged. Porch elements should be similar to those traditionally seen.

- 6.23 The use of a front or side porch is strongly encouraged in a new house design.

Policy: An accessory structure should not overwhelm or visually compete with the primary structure.

- 6.32 An accessory structure should be located in the rear yard of the primary residence.
- 6.34 An accessory structure should be simple in form and character.

Additional details/plans addressing the following, will need to be submitted for Board of Staff approval:

- 1. Provide plans/specifications for the storage building.
- 2. Shift the storage building to accommodate the existing trees.
- 3. Provide construction detail with finish specifications for the fence.

The Board must decide if the new details meet the criteria set forth in the guidelines.

Applicant is not present.

A motion was made by Gia Townsley with a second from Billy Zion, carried (6-0) to approve setting up a site meeting with the applicant and representatives from the BAR (Chairman's discretion) to review the following:

- 1. shake color on the house
- 2. front door color
- 3. shed body and trim color
- 4. picket fence color

5. any additional screening requirements of shed.

Board Business

1. David Bass resigned from the board.
2. St. Paul Baptist Church was nominated to the National Registry of Historic Places and will be voting on that in Columbia SC in the next couple of days.

ADJOURNMENT

A motion by Billy Zion, a second by Michael Cousar (6-0), to adjourn.

Bill Johnson
Chairman

Shalandrea Geer
Secretary

STAFF REPORT
CITY OF ANDERSON BOARD OF ARCHITECTURAL REVIEW

Application Number: BAR-26-14

Applicant: Billy Zion

Property Address: 113 N Main St (Downtown Historic District)

Zoning of Property: CBD, Central Business District

ANALYSIS

The applicant is requesting approval of minor changes to the approved renovations at 113 N Main St (BAR-26-14) that was approved in January of this year. The changes are as :

- N Main St store front:
 - A metal store front was approved. The applicant is asking to change to a wood storefront should the owner so choose.
- Rear elevation restoration including:
 - Addition of side light to the back door,
 - Addition of a second door and metal awning.

When reviewing this application, the Board should focus on the standards set forth in Chapter 3 and 5 of the Design Guidelines for Downtown Anderson. The following sections apply to this request:

Policy: Original architectural details should be preserved in place whenever feasible.

3.1 Avoid removing or altering any significant architectural detail.

- Do not remove or alter architectural details that are in good condition or that can be repaired in place.

3.2 Avoid adding elements or details that were not part of the original building.

3.14 A simplified version of the original may be considered. Be sure to use the major lines of the original detail.

Policy: Maintain an historic storefront and all of its character-defining features.

5.1 For a commercial storefront building, a rehabilitation project shall preserve these character-defining elements:

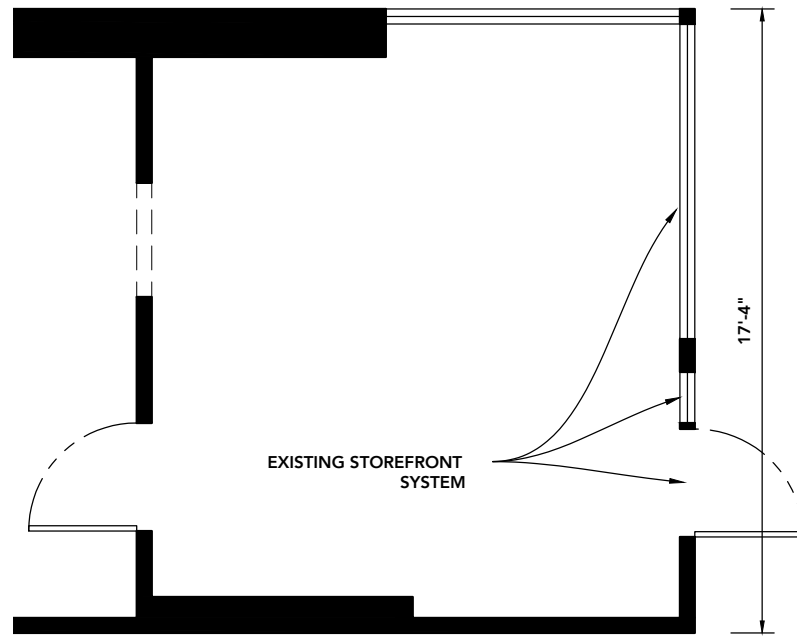
RECOMMENDATION

Staff recommends approval as submitted.

113 N. MAIN STREET

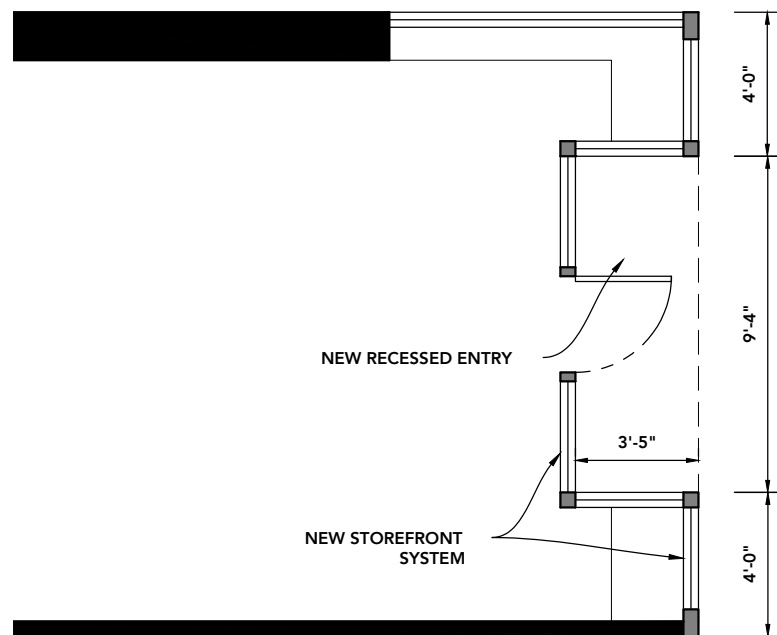
COMMERCIAL UPFIT

08 APRIL 2026



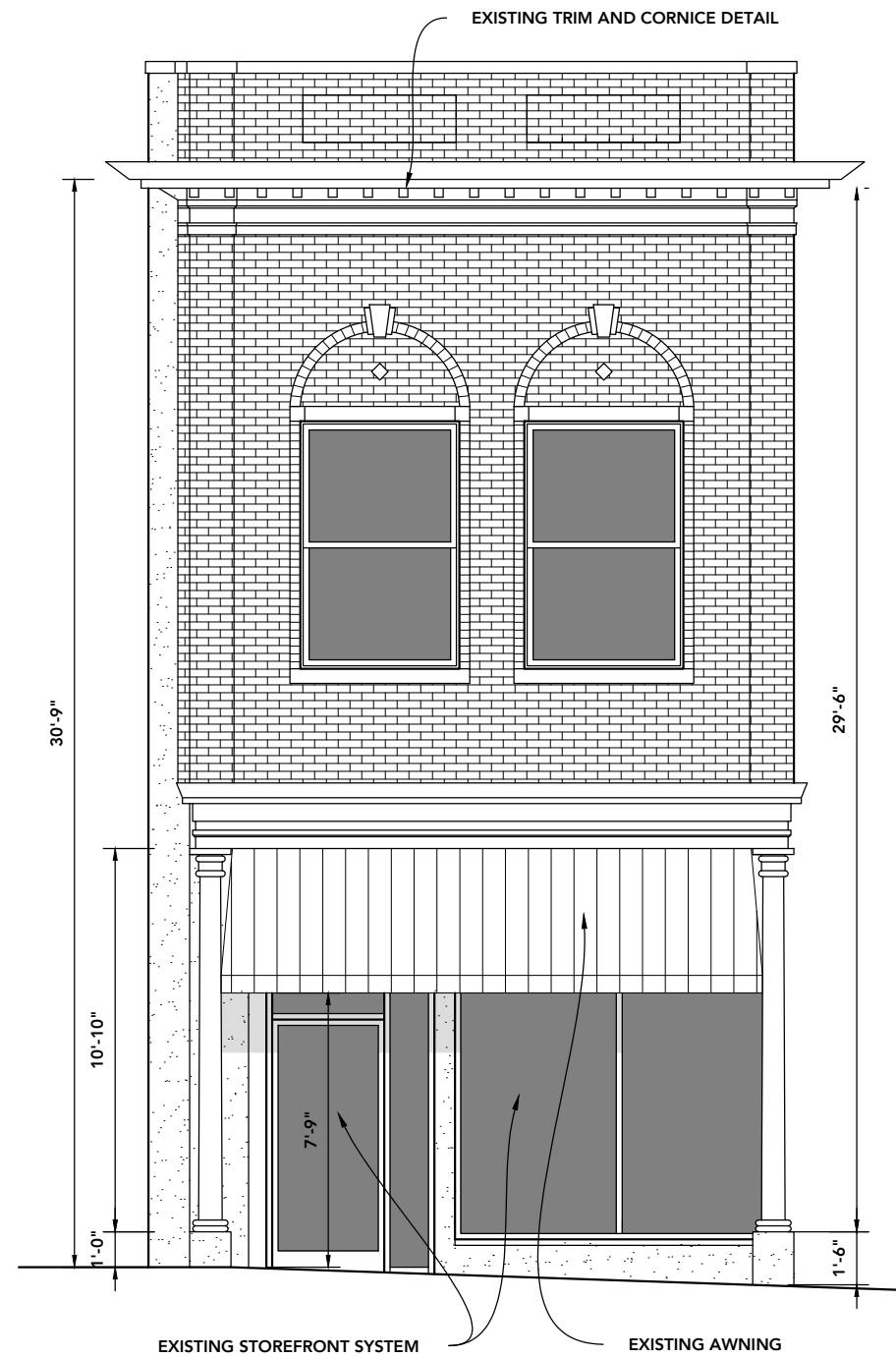
1 EXISTING FLOOR PLAN

A100 SCALE: 3/16" = 1'-0"



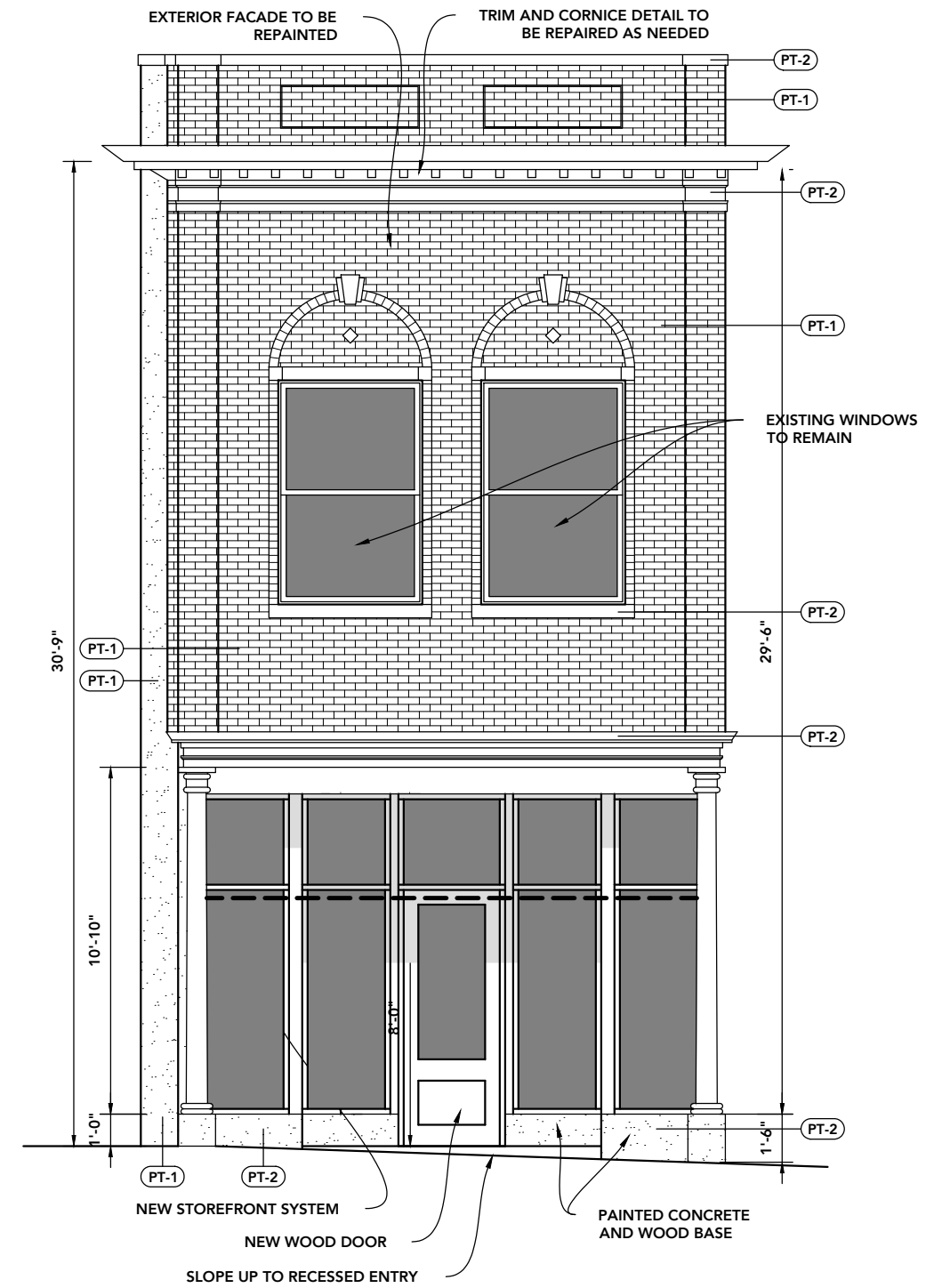
2 PROPOSED FLOOR PLAN

A100 SCALE: 3/16" = 1'-0"



3 EXISTING ELEVATION - FRONT

A100 SCALE: 3/16" = 1'-0"



4 PROPOSED ELEVATION - FRONT

A100 SCALE: 3/16" = 1'-0"

PAINT SCHEDULE

- PT-1 OVERALL FACADE COLOR
- PT-2 TRIM/ACCENT COLOR



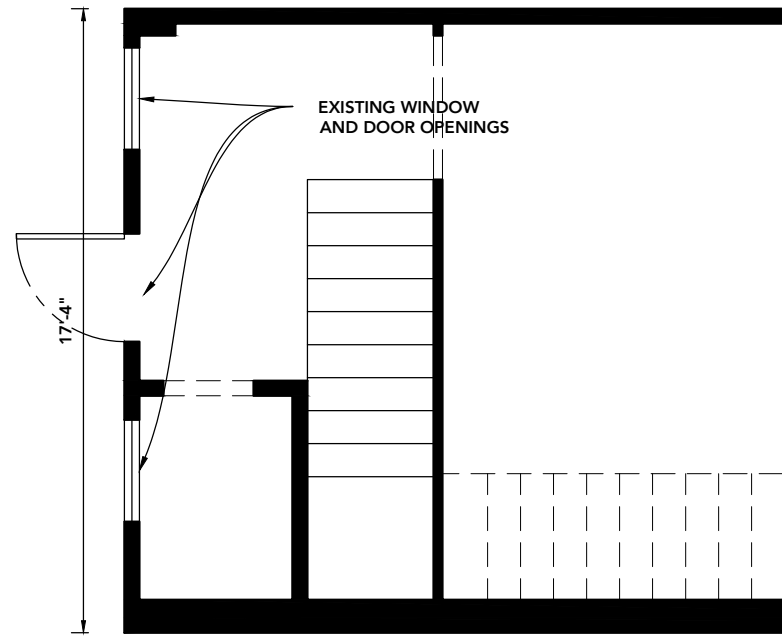
A100

113 N. MAIN STREET

COMMERCIAL UPFIT

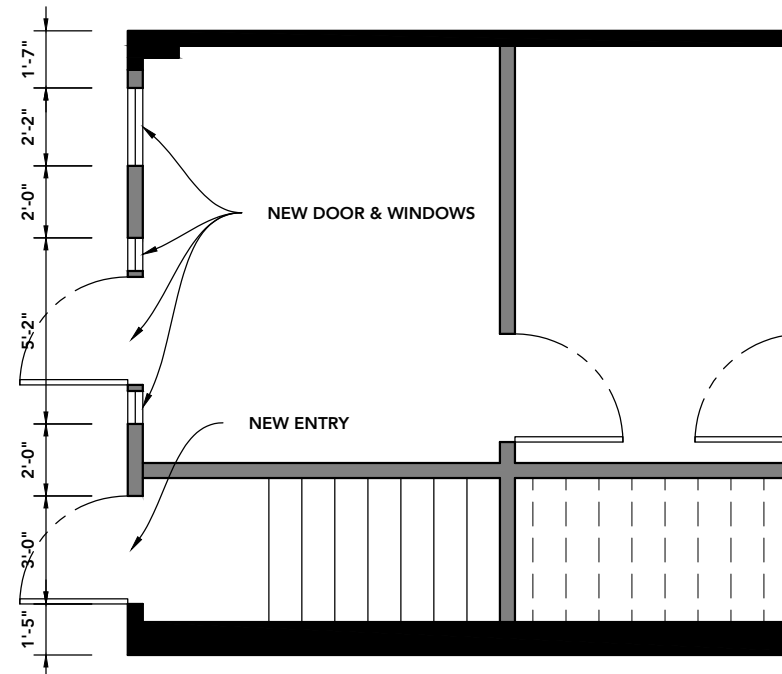
08 APRIL 2026

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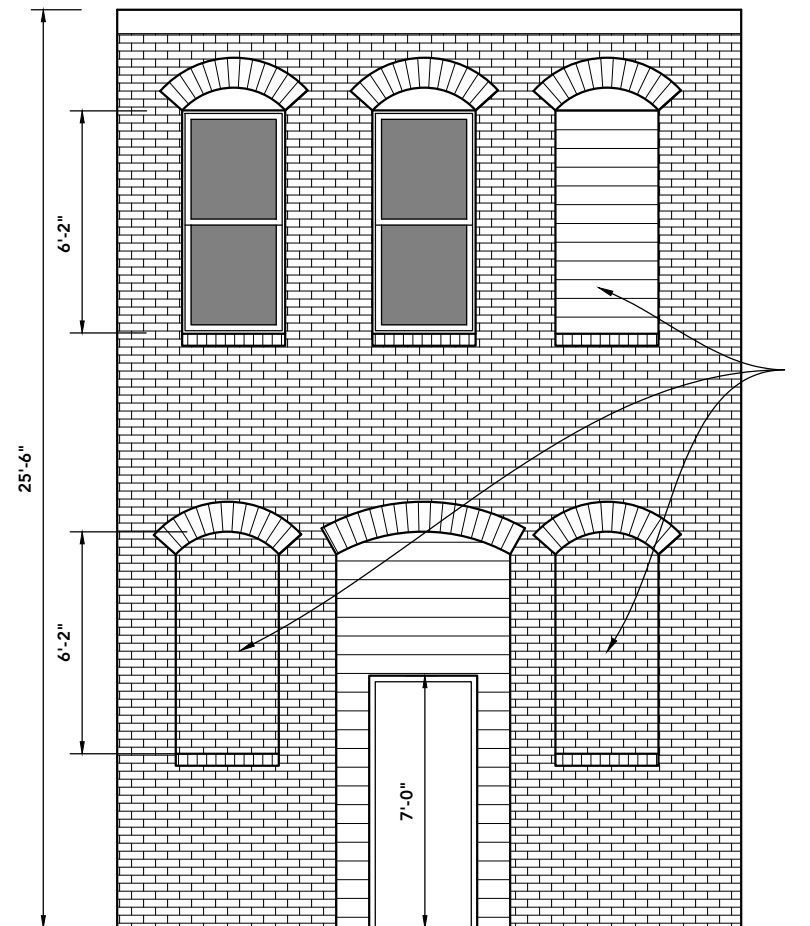
1 **EXISTING FLOOR PLAN**

A101 SCALE: 3/16" = 1'-0"



2 **PROPOSED FLOOR PLAN**

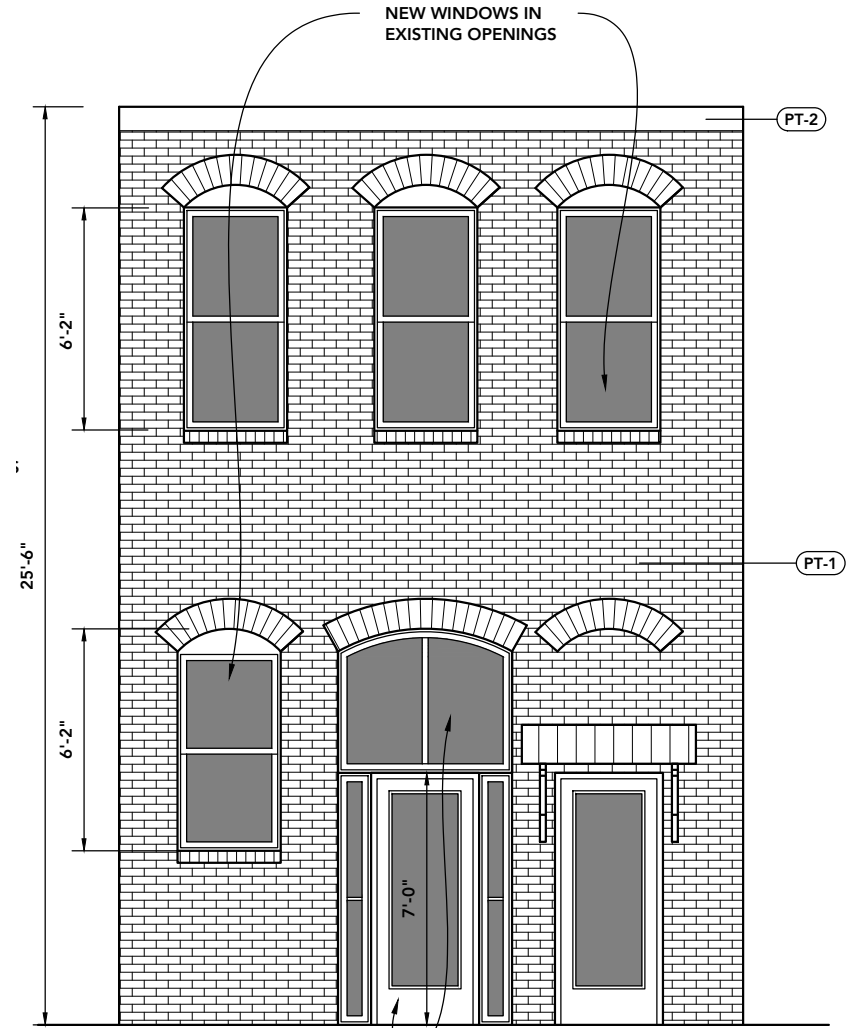
A101 SCALE: 3/16" = 1'-0"



3 **EXISTING ELEVATION - REAR**

A101 SCALE: 3/16" = 1'-0"

EXISTING WINDOW LOCATIONS
CURRENTLY FILLED IN.



NEW DOOR IN EXISTING
OPENING WITH CUSTOM
TRANSOM ABOVE.

4 **PROPOSED ELEVATION - REAR**

A101 SCALE: 3/16" = 1'-0"

PAINT SCHEDULE

- PT-1 OVERALL FACADE COLOR
- PT-2 TRIM/ACCENT COLOR



A101

**113 N. MAIN STREET
COMMERCIAL UPFIT
08 APRIL 2026**

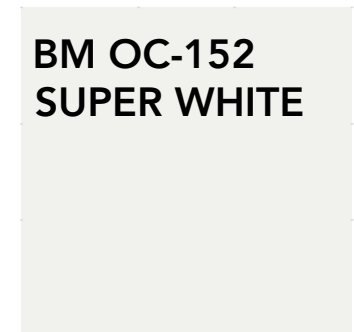
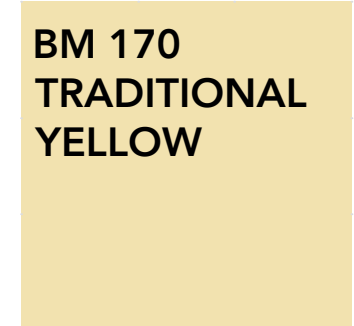


1 EXISTING EXTERIOR - FRONT
A102 SCALE: NTS



2 PROPOSED EXTERIOR - FRONT
A102 SCALE: NTS

PROPOSED COLORS:



**113 N. MAIN STREET
COMMERCIAL UPFIT
08 APRIL 2026**

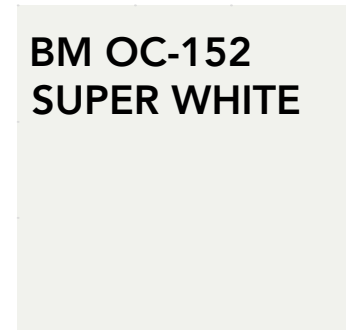
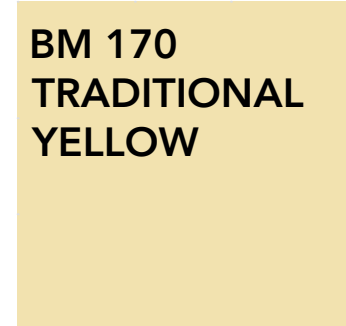


1 EXISTING EXTERIOR - REAR
A103 SCALE: NTS



2 PROPOSED EXTERIOR - REAR
A103 SCALE: NTS

PROPOSED COLORS:



STAFF REPORT
CITY OF ANDERSON BOARD OF ARCHITECTURAL REVIEW

Application Number: BAR-26-8

Applicant: Dexter Rucker, Electric City Signs

Property Address: 121 N Main St

Zoning of Property: CBD / Central Business District

ANALYSIS

This application is for a new wall sign above the main door on the Main St. facade.

When reviewing this application, the Board should focus on the standards set forth in Chapter Eight of the Design Guidelines for Downtown Anderson – Design Guidelines for Signs. The following sections apply to this request:

Policy: Design a sign to be in balance with the overall character of the property.

8.1 - Consider the building front as part of an overall sign program.

- Coordinate a sign within the overall facade composition.

Policy: Appropriate signs include freestanding, flush mounted, window, projecting, hanging, and directory signs.

8.4 - A flush-mounted wall sign may be considered.

Policy: A sign should be in character with the material, color and detail of a building.

8.13 - Sign materials should be compatible with that of the building facade.

8.15 - Use colors for the sign that are compatible with those of the building front.

8.16 - A simple sign design is preferred.

- Typefaces that are in keeping with those seen in the area traditionally are encouraged. Select letter styles and sizes that will be compatible with the building front.
- Generally, these are typefaces with serifs.
- Avoid hard-to-read or overly intricate typeface styles.

Definition: A serif is a small, decorative line or "foot" attached to the end of a stroke in a letter or symbol within certain typefaces. These fonts, such as Times New Roman or Garamond, are classically used for long-form print material like books, newspapers, and formal, traditional, or luxurious branding.

While the sign does comply with the minimum standard of the sign ordinance it falls short in compliance with the spirit of the ordinance and Design Guidelines for Downtown. The sign

ordinance was written to eliminate use of two-dimensional, low-quality cabinet signs in favor of individual channel letters. The proposed sign is not that different from a cabinet sign in character. In the draft revision to the ordinance that is to be considered later this year, there is a requirement that signs provide a minimum 1” of relief on the sign face. The BAR can and should raise the aesthetic standard for signs in the CBD like they do for architecture. Staff recommends approval with the following conditions:

1. The “MILLIES” font be changed to include serifs (per the Design Guidelines for Downtown, 8.16 above).
2. The lettering on the wall sign provides a minimum of 1” relief from the sign background.

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JOB NUMBER:
CLIENT: Millies On Main
LOCATION: Anderson, SC
DRAWING: R1
SALESPERSON: Dexter
DRAWN BY: JMH
DATE: 03/18/2026
FILE: Millies On Main 02

1
B

WALL PANEL - DETAIL
 SCALE: NONE



Flat 3mm signabond panel. With vinyl graphics applied.

COLORS

Oracal Black

COLORS PRINTED ON THIS SHEET ARE FOR REFERENCE ONLY

CLIENT APPROVAL:

DATE:

SALESPERSON APPROVAL:

DATE:

THIS SIGN WILL BE CONSTRUCTED AS SHOWN. BY SIGNING THIS ARTWORK, THE SALESPERSON IS VERIFYING THEY HAVE REVIEWED ALL OF THE INFORMATION AND FOUND IT TO BE CORRECT. THE SALESPERSON IS AUTHORIZING THIS INFORMATION FOR MANUFACTURE.

ELECTRIC CITY SIGNS & NEON INC. RETAINS ALL COPYRIGHT AND OTHER PROPRIETARY RIGHTS IN AND TO THE SIGN LAYOUT DESIGNS PROVIDED WITH THIS PROPOSAL. IN THE EVENT YOU ELECT TO HAVE ELECTRIC CITY SIGNS & NEON INC. CREATE A SIGN BASED ON ONE OR MORE OF THE DESIGN LAYOUTS, ELECTRIC CITY SIGNS & NEON INC. SHALL BE DEEMED TO HAVE GRANTED YOU AN IRREVOCABLE, PERPETUAL LICENSE TO USE THE SIGN. IF YOU HAVE A SIGN MADE BY AN INDEPENDENT THIRD PARTY BASED ON ONE OR MORE OF THE DESIGN LAYOUTS PROVIDED IN THIS PROPOSAL, YOU SHALL PAY TO ELECTRIC CITY SIGNS & NEON INC. AS LIQUIDATED DAMAGES FOR THE INFRINGEMENT OF ELECTRIC CITY SIGNS & NEON INC.'S INTELLECTUAL PROPERTY RIGHTS AN AMOUNT EQUAL TO THE TOTAL FEES AS PROVIDED IN THIS PROPOSAL FOR ELECTRIC CITY SIGNS & NEON INC. TO CREATE THE SIGN.



STAFF REPORT
CITY OF ANDERSON BOARD OF ARCHITECTURAL REVIEW

Application Number: BAR-26-16

Applicant: Candy Diggins, Signs by Paramount

Property Address: 1001 S McDuffie St

Zoning of Property: LO / Limited Office, Anderson Historic District

ANALYSIS

This application is for a new post sign at the corner of E Franklin St. and S McDuffie St.

This parcel is in the LO zone but not in the Downtown Historic District. When reviewing this application, the Board should use the standards set forth in Chapter Eight of the Design Guidelines for Downtown Anderson – Design Guidelines for Signs because this is a commercial use closely related to those uses in the Downtown Historic District. The following sections apply to this request:

Policy: Design a sign to be in balance with the overall character of the property.

8.1 - Consider the building front as part of an overall sign program.

- Coordinate a sign within the overall facade composition.

Policy: Appropriate signs include freestanding, flush mounted, window, projecting, hanging, and directory signs.

8.4 - A flush-mounted wall sign may be considered.

Policy: A sign should be in character with the material, color and detail of a building.

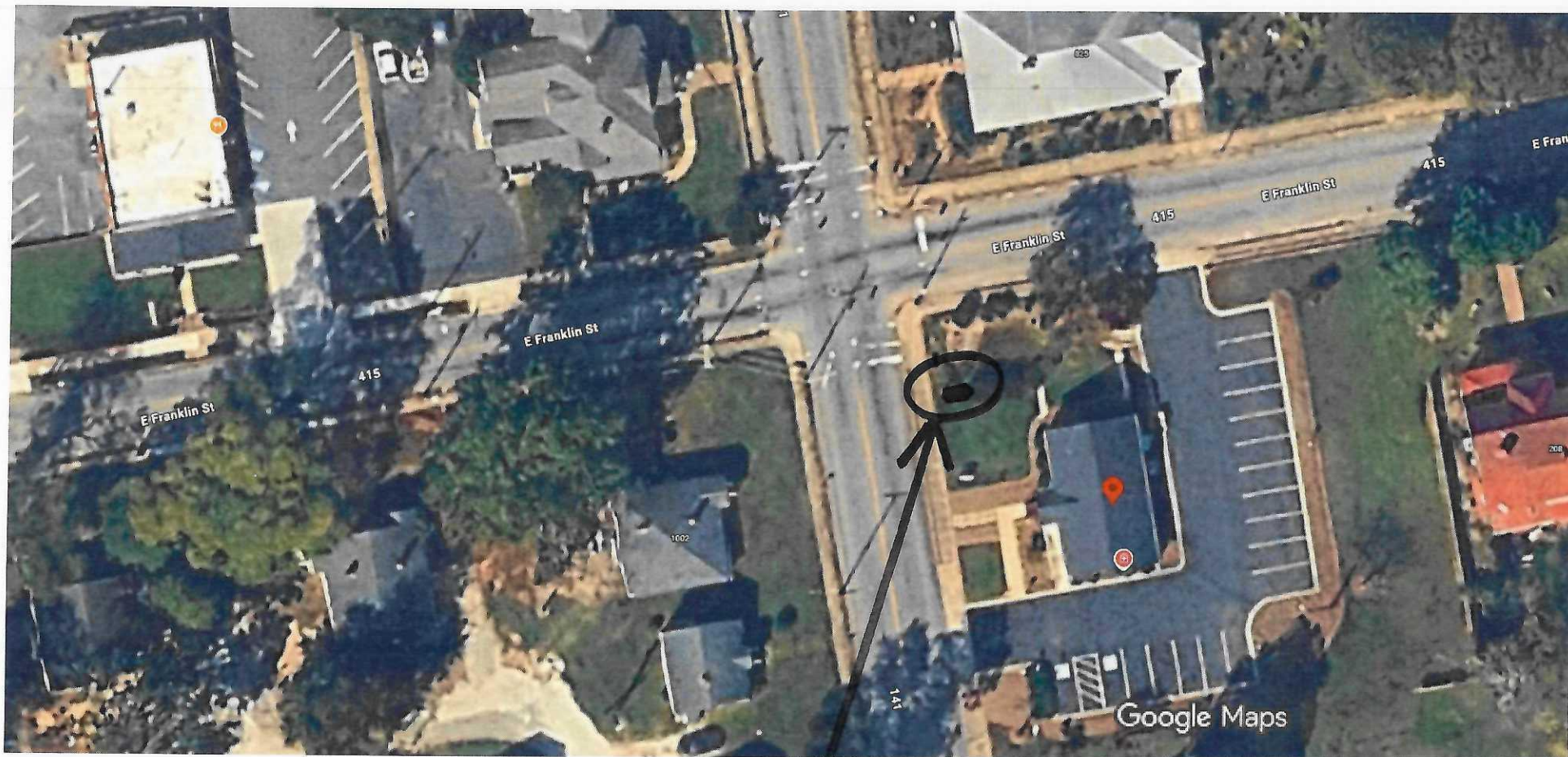
8.13 - Sign materials should be compatible with that of the building facade.

8.15 - Use colors for the sign that are compatible with those of the building front.

In the draft revision to the ordinance that is to be considered later this year, there is an addition of “post sign” as a permeant sign. In anticipation of this change the BAR has the authority and Staff recommends approval of this sign application.

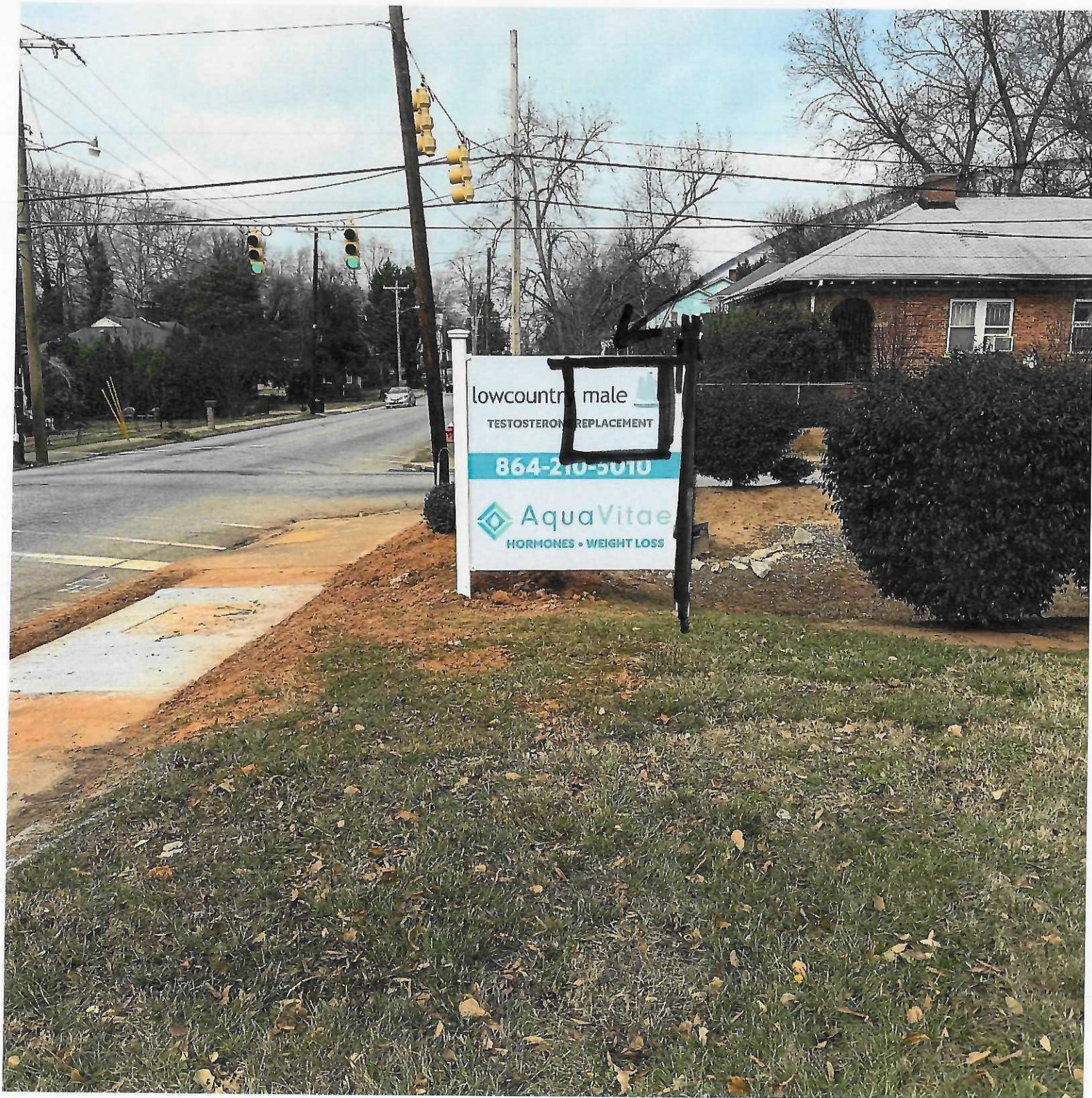
Google Maps

1001 S McDuffie St



Imagery ©2026 Airbus, Maxar Technologies, Map data ©2026 20 ft

NEW SIGN TO BE LOCATED AT
EXISTING SIGN LOCATION



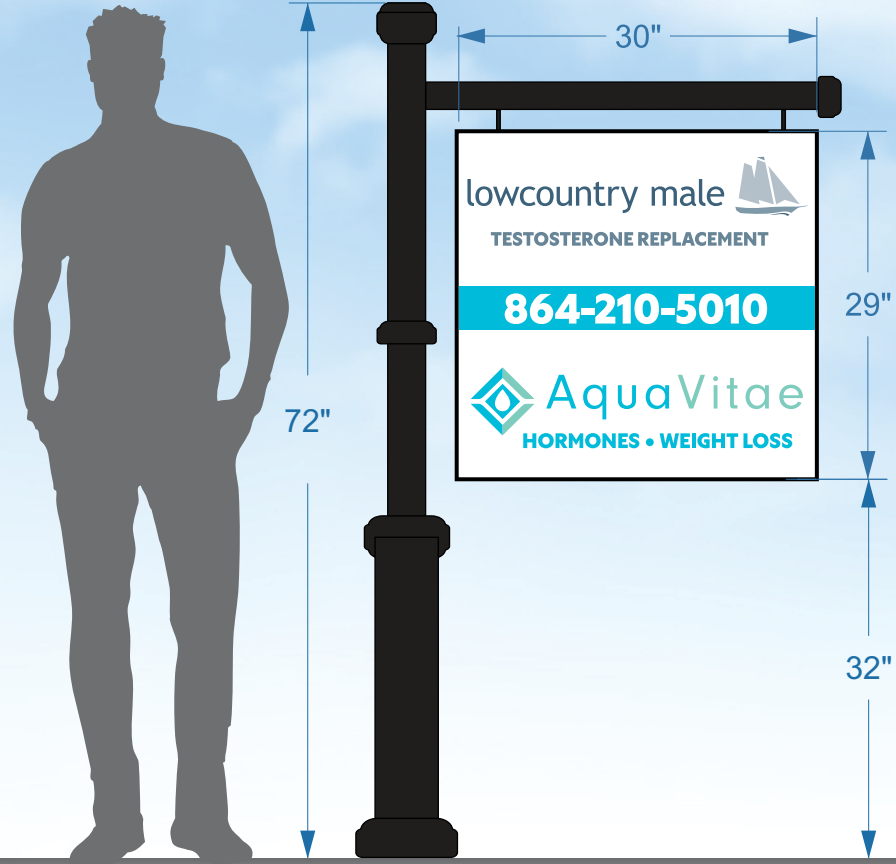
NEW
SIGN
LOCATION

CONCEPT

DOUBLE SIDED

(1) Decorative Post and Final Set/ Painted Pane

Scale: 3/4"=1'-0"



Color Specifications:

- C-1 White
- C-2 TBD
- C-3 TBD
- C-4 TBD

(PRINTED COLORS ARE FOR CONCEPTUAL USE ONLY. ACTUAL COLORS TO BE CONFIRMED PRIOR TO FABRICATION.)

PMS COLORS REQUIRED PRIOR TO PRODUCTION

Approved By & Date:



PLEASE NOTE

This Drawing must be returned signed & approved, any delay will result in delayed production time. We DO NOT assume responsibility for errors of any kind. Please inspect this drawing thoroughly to insure that all spelling is correct and that the artwork is accurate and correctly positioned.



ELECTRICAL ELEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, AN OTHER APPLICABLE LOCAL CODES, THE NECU, PROPER GROUNDING AND BONDING OF THE S

ARTICLE 600
THE CONTENTS OF THIS DRAWING AND ELEMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR EXHIBITED TO ANY OTHER OUTSIDE OF YOUR COMPANY IN WH OR IN PART WITHOUT WRITTEN PERMISSION. ALL SUCH ACTIONS ARE PROHIBITED BY L. © 2018 ALL RIGHTS RESERVED

ALSO SEE: 120 VOLTS WET PREPARING

This sign is constructed to be suitable for the following environmental conditions:

Wet	Damp	Dry
X	X	X

STOP PLEASE NOTE

This Drawing must be returned signed & approved, any delay will result in delayed production time. We DO NOT assume responsibility for errors of any kind. Please inspect this drawing thoroughly to insure that all spelling is correct and that the artwork is accurate and correctly positioned.