

## **Board of Architectural Review**

### **AGENDA**

**City Hall in Council Chambers**

**Wednesday, June 17, 2026**

**5:30 pm**

- I. Addenda to Agenda**
- II. Approval of Minutes** – from May 20, 2026
- III. New Business**
  - BAR-26-23 510 N Main (Renovation)
  - BAR-26-24 10130 S Main (Demo)
- IV. Board Business**
- V. Staff Report**
- VI. Adjourn**

**CITY OF ANDERSON  
BOARD OF ARCHITECTURAL REVIEW  
MINUTES  
Wednesday, May 20, 2026  
5:30 pm**

- MEMBERS PRESENT:** Billy Zion, Michael Cousar, Bill Johnson, Mary Lou Gambrell, Jill Helgeson
- MEMBERS ABSENT:** Amanda Knobel, Gia Townsley
- STAFF PRESENT:** Christopher Darnel, City Planner  
Shalandrea Geer, Administrative Assistant
- OTHERS PRESENT:** See sign-in roster.

**CALL TO ORDER**

The meeting was called to order by Bill Johnson.

**ADDENDA TO AGENDA**

None

**APPROVAL OF MINUTES**

A motion by Billy Zion, a second by Mary Lou Gambrell (5-0), to approve the minutes from April 15, 2026.

**OLD BUSINESS**

**BAR-26-15  
522 N Main**

**(PF Meat Co exterior renovations) / Preliminary Certification Special Property Tax Assessment for  
Rehabilitated Properties**

The applicant is requesting approval of changes to last year's BAR approval of proposed renovations to the "taxi building" and Preliminary Certification for Special Property Tax Assessment for Rehabilitated Properties. Because the building renovations and the signage are so closely linked, this application includes both. The scope of work is as follows:

Proposed changes to the building and site include:

1. Painting the building:

- a. Building façade (existing metal siding)- replaced and repaired, existing white to remain,
  - b. Fuel canopy and trim - Roycroft Bottle Green (SW 2847),
  - c. Canopy columns - Tri Corn Black (SW 6258),
  - d. Store front window and doors - new black store front windows and doors,
  - e. Garage doors – replaced with new glass garage doors.
2. Signage:
    - a. Canopy roof sign – dimensional black letters,
    - b. Wall sign (above old garage doors) – two dimensional black letters and gold ampersand mounted 2” off building face.
  3. New Exterior cooler and Screen: A 10x20 walk-in cooler would be installed at the rear of the building with screen and metal roof running the full length of the building. The wood screen will be painted Tri Corn Black (SW 6258) to match trim.
  4. Pavement: The existing asphalt in the front will be replaced with concrete scored to match the downtown concrete sidewalks. Two faux turf panels will define the outdoor gathering spaces. Asphalt parking lot in rear will remain.
  5. Planters: The proposed planters are 48” diameter.

When reviewing this application, the Board should focus on the standards set forth in Chapter 3, 5, and 10 of the Design Guidelines for downtown Anderson. The following sections apply to this request:

**Policy: Original architectural details should be preserved in place whenever feasible.**

3.1 Avoid removing or altering any significant architectural detail.

- Do not remove or alter architectural details that are in good condition or that can be repaired in place.

3.2 Avoid adding elements or details that were not part of the original building.

3.14 A simplified version of the original may be considered. Be sure to use the major lines of the original detail.

**Policy: Maintain an historic storefront and all of its character-defining features.**

5.1 For a commercial storefront building, a rehabilitation project shall preserve these character-defining elements:

- Display windows: The main portion of glass on the storefront, where goods and services are displayed. This will help maintain the interest of the street to pedestrians by providing views to goods and activities inside first floor windows.
- Cornice molding: A decorative band at the top of the building.
- These features shall not be altered, obscured or removed.

10.1 Use colors to tie together the entire storefront.

- Consider the building as a whole, and then decide which details to emphasize.
- Using the same color on the same architectural elements (i.e., window frames) can reinforce the patterns which tie together the storefront.

10.2 When choosing a color, consider the context or major colors on the surrounding buildings.

- Brick and masonry colors are common in the Downtown.

- Muted and compatible tones should characterize a building.
- Avoid bright high-intensity colors.

Each case is a unique combination of design variables and, as a result, the degree to which each relevant guideline must be met may vary. In making its determination of the appropriateness of a project, the Board should remember the City’s overall goals and concerns for the Downtown district:

1. The proposed work complies with the criteria in its ordinance.
2. The integrity of an individual historic structure is preserved.
3. New buildings or additions are designed to be compatible with surrounding historic properties.
4. The overall character of the Downtown is protected.

Staff recommends approval.

Applicant is present.

A motion was made by Mary Lou Gambrell, with a second from Amanda Knobel, and carried (4-0) to approve as submitted. Billy Zion recused himself from the vote.

## NEW BUSINESS

### BAR-26-12 118 E Earle St (ST Quality Electric sign)

This application is for a new Projecting Sign. In compliance with Article 12: Signs (adopted 8/14/2023) of the Official Zoning Ordinance and Design Guide for Downtown.

When reviewing this application, the Board should focus on the standards set forth in Chapter Eight of the Design Guidelines for Downtown Anderson – Design Guidelines for Signs. The following sections apply to this request:

**Policy: Design a sign to be in balance with the overall character of the property.**

8.1 - Consider the building front as part of an overall sign program.

8.2 - A sign shall be subordinate to the overall building composition.

**Policy: Appropriate signs include freestanding, flushmounted, window, projecting, hanging, and directory signs.**

8.7 – A projecting sign may be considered

**Policy: A sign should be in character with the material, color and detail of a building.**

8.13 - Sign materials should be compatible with that of the building facade.

8.15 - Use colors for the sign that are compatible with those of the building front.

8.17 - The light for a sign should be an indirect source.

Staff recommends approval as submitted.

Applicant is present

A motion was made by Billy Zion with a second from Michael Cousar, carried (5-0) to approve as submitted.

**BAR-26-17**

**611 N McDuffie St  
(Perx Carwash sign)**

This application is for a new monument sign at the corner of N McDuffie St. and E Greenville St.

When reviewing this application, the Board should use the standards set forth in Chapter Eight of the Design Guidelines for Downtown Anderson – Design Guidelines for Signs. The following sections apply to this request:

**Policy: Design a sign to be in balance with the overall character of the property.**

8.1 - Consider the building front as part of an overall sign program.

- Coordinate a sign within the overall facade composition.

**Policy: Appropriate signs include freestanding, flush mounted, window, projecting, hanging, and directory signs.**

8.3 - Freestanding or pole mounted signs may be considered.

- A freestanding sign may also be used in areas where the primary use is set back from the street edge.

**Policy: A sign should be in character with the material, color and detail of a building.**

8.13 - Sign materials should be compatible with that of the building facade.

8.15 - Use colors for the sign that are compatible with those of the building front.

The Comprehensive Sign Plan section of the Sign Ordinance gives the Board of Architectural Review an alternative procedure under which signs can be approved to encourage a higher level of design and amenity that would not be possible under applicable sign regulations. Monument signs are not allowed in the CBD per the sign ordinance but are a potential option listed in the Design Guidelines for Downtown Anderson. Given that the building setbacks back from both streets, a wall sign would not serve to identify the business. Additionally, the replacement of the existing monument sign would serve to improve the streetscape amenity at this busy intersection. The BAR has the authority, and Staff recommends approval of this sign application.

Applicant is not present

A motion was made by Michael Cousar with a second from Billy Zion, carried (5-0) to approve as submitted.

**BAR-26-19**  
**1309 N Boulevard**  
**(exterior renovations)**

The applicant is requesting approval of (1.) a new color scheme, (2.) renovations of the gables, and (3.) a new front door.

1. The applicant request approval to repaint the entire exterior of the building.
  - Body (brick and siding) - Sherwin Williams Dried Thyme
  - Soffit, fascia, windows, gable vents, and trim – Sherwin Williams Alabaster
  - Shutters – Sherwin Williams Tricorn Black
2. The applicant request approval to restore all gables to a more period correct 7” lap siding using Hardie Board smooth lap siding. Gable vents will be kept original. Same Hardie Board siding would continue on left side of building where currently there is exterior grade painted plywood.
3. Replace the front door with a 9 lite door to match original side lites. The door to be stained wood in a walnut color finish. Original side lites would remain and be painted white trim color.

When reviewing this application, the Board should focus on Chapter 3: Rehabilitation of Historic Resources of the Design Guidelines. The following sections apply to this request:

3.17 Using the historic color scheme is encouraged.

- If an historic scheme is not to be used, then consider the following:
  - Generally, one muted color is used as a background to unify the composition.
  - One or two colors are usually used for accent to highlight details and trim.
  - A single-color scheme should be used for the entire exterior so upper and lower floors and subordinate wings of buildings are seen as components of a single structure.

3.18 Base or background colors should be muted.

- Use the natural colors of the building materials, such as the buff color of limestone, as the base for developing the overall color scheme.

3.19 Reserve the use of bright colors to accent building features only.

- Muted earthtone colors are preferred.

3.8 When reconstruction of an element is impossible, develop a new design that is a simplified interpretation of it.

- This is appropriate when inadequate information exists to allow for an accurate reconstruction.
- The new element should be similar to comparable features in general size, shape, texture, material and finish.

3.9 Avoid adding ornamentation or other decorative elements, unless thorough research indicates that the building once had them.

- For primary structures, details may be copied from historic houses that are clearly similar in character, when there is evidence that a similar element once existed. This is not to be interpreted to mean that adding exuberant amounts of highly decorative trim would be appropriate.

Staff recommends approval. The color scheme complies with the Design Guide. The changes do not adversely affect the perceived character of the building or neighborhood.

A motion was made by Jill Helgeson with a second from Mary Lou Gambrell, carried (5-0) to approve as submitted.

### **Board Business**

None

### **ADJOURNMENT**

A motion by Billy Zion, a second by Jill Helgeson (5-0), to adjourn.

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Bill Johnson  
Chairman

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Shalandrea Geer  
Secretary

**STAFF REPORT**  
**CITY OF ANDERSON BOARD OF ARCHITECTURAL REVIEW**

Application Number: BAR-26-23

Applicant: Sarah LaMunion

Property Address: 510 N Main (Downtown Historic District)

Zoning of Property: CBD, Central Business District

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**ANALYSIS**

The applicant proposes renovation and restoration of the historic structure at 510 N Main for use as an event venue. Scope includes repair of age and weather-related damage, restoration of historic wood windows, new siding and roofing, removal of non-historic south addition, reconstruction of the two-story porch, construction of a new entry portico, and accessibility improvements to provide ADA access. The renovations in the drawings include but are not limited to:

Restorations

1. Restore original wood windows,
2. Restore front door and side lites,
3. Expose original roof fascia and repair,

New Additions

1. Accessibility access,
2. 16” brick pillars front terrace wall,
3. Lanterns (on columns, sconces and pendant),
4. Wrought iron safety rail,
5. Hardie plank to replace sidings on rear elevation,
6. Wood portico and columns,
7. Chippendale railing
8. Second story porch door,
9. Standing seam metal roof

When the element to be replaced is not original to the building, the basic principle to consider is to not alter the perceived character of the building. When reviewing this application, the Board should focus on the “Basic Principles of Historic Preservation” set forth in the Design Guidelines, Historic Districts in Anderson, South Carolina that include:

- **Respect the historic design character of the building.**
- **Protect and maintain significant features and stylistic elements.**
- **Preserve key, character-defining features of the property.**
- **Use building materials that appear similar to those used traditionally in Anderson.**

The following sections of Chapter 3: Rehabilitation of Historic Resources and Chapter 4: Additions of the Design Guidelines apply to this request:

**3.17 Using the historic color scheme is encouraged.**

- If an historic scheme is not to be used, then consider the following:
  - Generally, one muted color is used as a background to unify the composition.
  - One or two colors are usually used for accent to highlight details and trim.
  - A single-color scheme should be used for the entire exterior so upper and lower floors and subordinate wings of buildings are seen as components of a single structure.

**3.18 Base or background colors should be muted.**

- Use the natural colors of the building materials, such as the buff color of limestone, as the base for developing the overall color scheme.
- Use matte finishes instead of glossy ones.

**3.19 Reserve the use of bright colors to accent building features only.**

- Contrasting accent colors may be used to highlight entries.
- Muted earthtone colors are preferred.

**4.5 An addition should be compatible in scale with the primary structure.**

- An addition should relate to the historic resource in mass, scale and form. It should be designed to remain subordinate to the main structure.

**4.6 An addition should be compatible in character with the primary structure.**

The proposed restoration and renovations comply with the Design Guide. The proposed materials are consistent with the existing materials. The proposed changes will not adversely affect the perceived character of the building or neighborhood. Staff recommends approval with the following conditions:

1. Provide paint colors (Body, trim, railings, porch ceilings and roof),
2. Provide a detail of the safety railing (if this is off the shelf consider providing manufacturers cut sheet),
3. Provide specifications for the lanterns (post mounted, sconces and pendant),
4. Provide a detail of the stair handrail (dimensioned),
5. Provide a detail of the Chippendale railing (dimensioned).





1 2008 JUNE



2 2012 MAY



3 2014 APRIL



4 2016 AUGUST

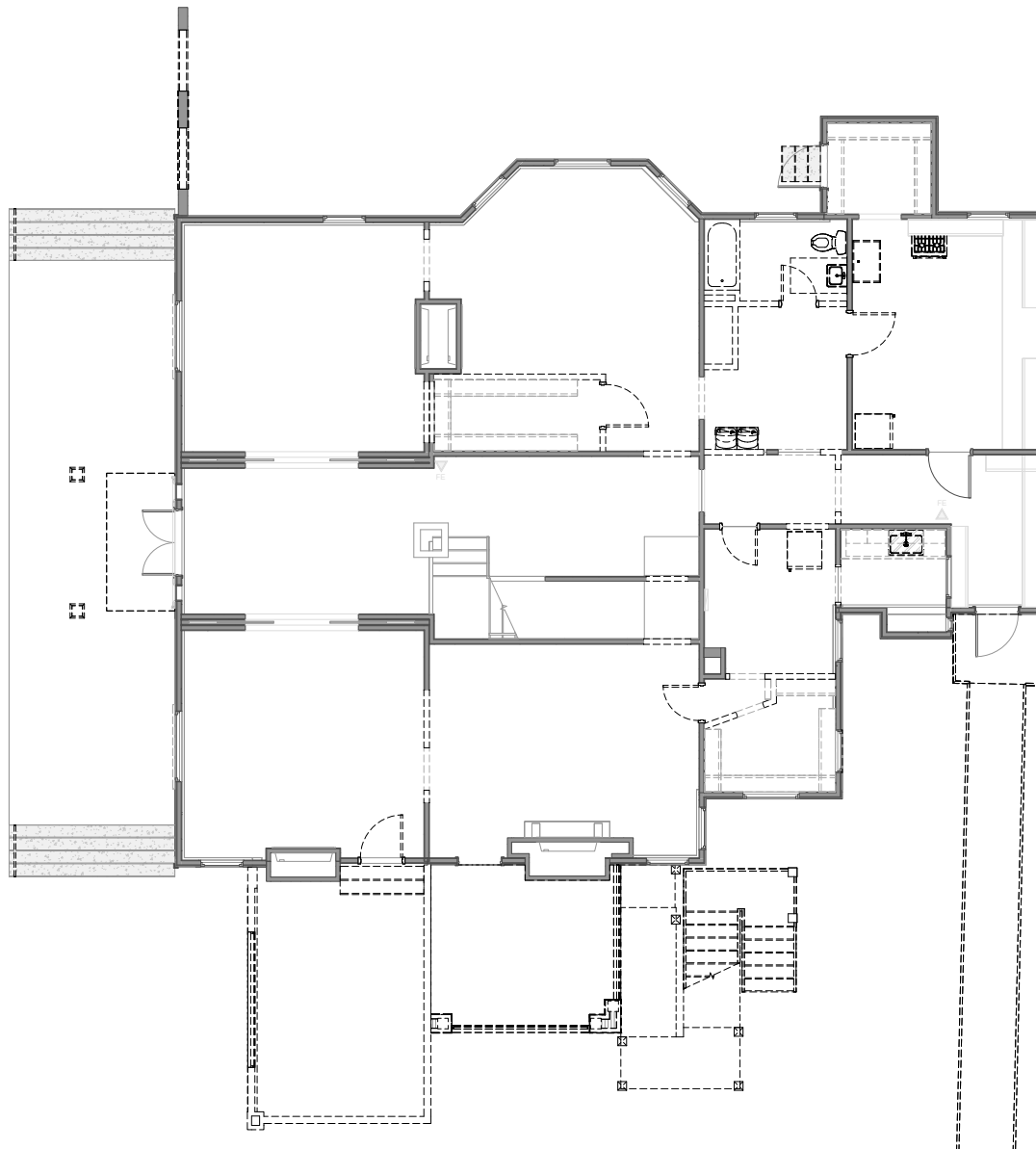


5 2017 APRIL



6 2019 JULY

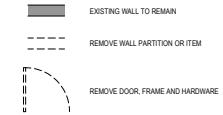




DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY EVALUATE THE EXISTING FACILITY AGAINST THE ENTIRE SET OF DRAWINGS AND ACTUAL SITE CONDITIONS.
2. REVIEW ALL CONTRACT DOCUMENTS AND ARRIVE AT THE SCOPE OF DEMOLITION WORK REQUIRED TO ACHIEVE THE INTENDED RESULTS AND FINISHED PRODUCT. ALL DEMOLITION WORK SHALL BE INCLUDED IN THE BASE SCOPE OF WORK.
3. REMOVE ITEMS IN SUCH A WAY AS TO NEITHER DAMAGE ADJACENT MATERIALS NOR COMPROMISE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING OF EXISTING CONSTRUCTION AS REQUIRED TO PERFORM THE PRESCRIBED WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING PORTIONS OF THE BUILDING TO REMAIN. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT MINIMIZES VIBRATION AND DAMAGE TO EXISTING STRUCTURE AND HISTORIC MATERIALS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING PORTIONS OF THE BUILDING TO REMAIN, WHICH ARE CAUSED BY THE CONTRACTOR OR CONTRACTORS' TEAM.
5. THE GENERAL CONTRACTOR SHALL MAINTAIN DURING THE PROGRESS OF THE WORK ALL MEANS OF EGRESS FROM THE FACILITY. CORRIDORS SHALL NOT BE REDUCED IN WIDTH IN SUCH A MANNER AS TO IMPEDE EGRESS FROM THE BUILDING. EXIT SIGNS, ALARM PULL STATIONS, ETC., ARE NOT TO BE BLOCKED FROM VIEW.
6. PRESERVE ALL HISTORIC WOOD WINDOWS. WINDOWS SHALL BE CAREFULLY REPAIRED, RESTORED AND RETURNED TO WORKING ORDER BY A SPECIALIST EXPERIENCED IN HISTORIC WINDOW RESTORATION. RETAIN EXISTING HISTORIC MATERIAL AND CHARACTER DEFINING FEATURES TO THE GREATEST EXTENT POSSIBLE.
7. REMOVE ONLY THOSE MATERIALS SPECIFICALLY IDENTIFIED FOR DEMOLITION. ITEMS NOT INDICATED TO BE REMOVED SHALL REMAIN AND BE PROTECTED.
8. SALVAGE HISTORIC MATERIALS WHEREVER POSSIBLE FOR REUSE OR REINSTALLATION.
9. EXISTING WOOD TRIM, CORNICES, AND DECORATIVE FEATURES SHALL BE REPAIRED RATHER THAN REPLACED WHERE FEASIBLE.
10. PATCH AND REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION TO MATCH EXISTING HISTORIC MATERIALS, PROFILES, TEXTURES AND FINISHES.
11. DO NOT USE ABRASIVE CLEANING METHODS, SANDBLASTING, OR HIGH-PRESSURE WASHING ON HISTORIC MATERIALS.
12. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT MINIMIZES VIBRATION AND DAMAGE TO EXISTING STRUCTURE AND HISTORIC MATERIALS.

DEMOLITION LEGEND

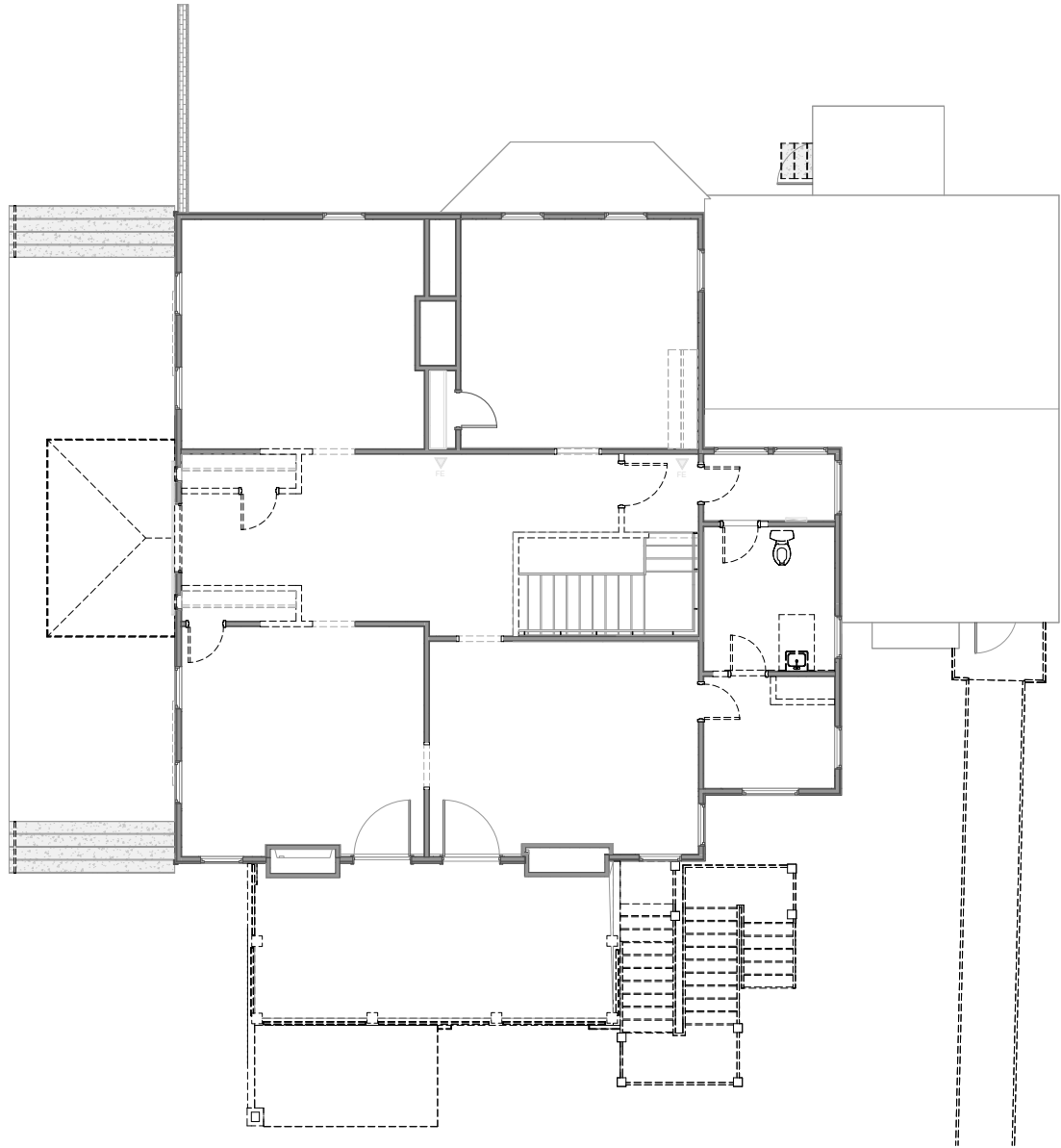


REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

FLOOR 01 -  
DEMOLITION PLAN

PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL




AD101



DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY EVALUATE THE EXISTING FACILITY AGAINST THE ENTIRE SET OF DRAWINGS AND ACTUAL SITE CONDITIONS.
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6. PRESERVE ALL HISTORIC WOOD WINDOWS. WINDOWS SHALL BE CAREFULLY REPAIRED, RESTORED AND RETURNED TO WORKING ORDER BY A SPECIALIST EXPERIENCED IN HISTORIC WINDOW RESTORATION. RETAIN EXISTING HISTORIC MATERIAL AND CHARACTER DEFINING FEATURES TO THE GREATEST EXTENT POSSIBLE.
7. REMOVE ONLY THOSE MATERIALS SPECIFICALLY IDENTIFIED FOR DEMOLITION. ITEMS NOT INDICATED TO BE REMOVED SHALL REMAIN AND BE PROTECTED.
8. SALVAGE HISTORIC MATERIALS WHEREVER POSSIBLE FOR REUSE OR REINSTALLATION.
9. EXISTING WOOD TRIM, CORNICES, AND DECORATIVE FEATURES SHALL BE REPAIRED RATHER THAN REPLACED WHERE FEASIBLE.
10. PATCH AND REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION TO MATCH EXISTING HISTORIC MATERIALS, PROFILES, TEXTURES AND FINISHES.
11. DO NOT USE ABRASIVE CLEANING METHODS, SANDBLASTING, OR HIGH-PRESSURE WASHING ON HISTORIC MATERIALS.
12. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT MINIMIZES VIBRATION AND DAMAGE TO EXISTING STRUCTURE AND HISTORIC MATERIALS.

DEMOLITION LEGEND

-  EXISTING WALL TO REMAIN
-  REMOVE WALL PARTITION OR ITEM
-  REMOVE DOOR, FRAME AND HARDWARE

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

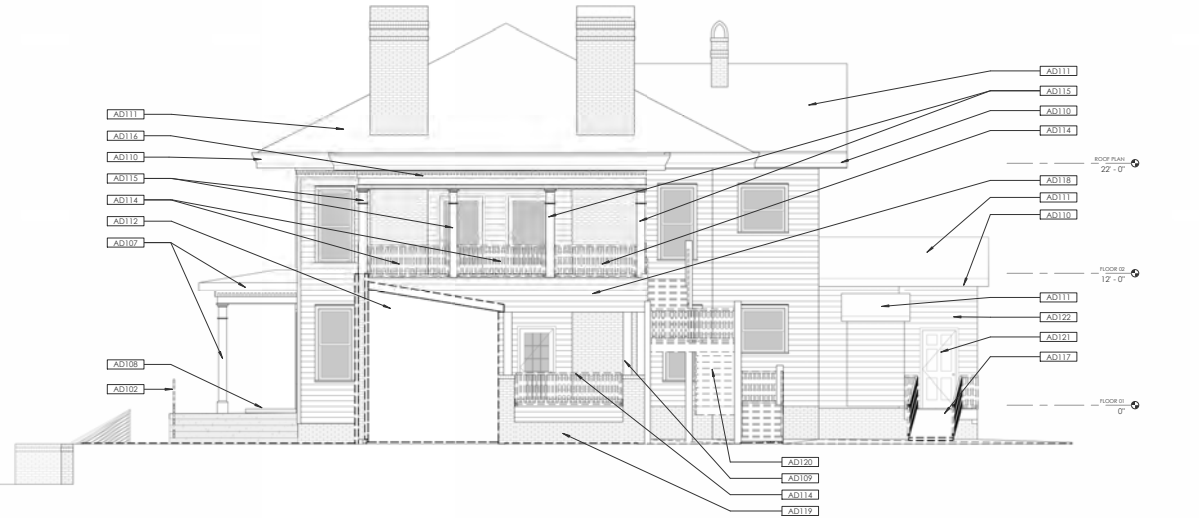
FLOOR 02 -  
DEMOLITION PLAN

PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL

AD102



1 WEST ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY EVALUATE THE EXISTING FACILITY AGAINST THE ENTIRE SET OF DRAWINGS AND ACTUAL SITE CONDITIONS.
2. REVIEW ALL CONTRACT DOCUMENTS AND ARRIVE AT THE SCOPE OF DEMOLITION WORK REQUIRED TO ACHIEVE THE INTENDED RESULT AND FINISHED PRODUCT. ALL DEMOLITION WORK SHALL BE INCLUDED IN THE BASE SCOPE OF WORK.
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8. SALVAGE HISTORIC MATERIALS WHEREVER POSSIBLE FOR REUSE OR REINSTALLATION.
9. EXISTING WOOD TRIM, CORNICES, AND DECORATIVE FEATURES SHALL BE REPAIRED RATHER THAN REPLACED WHERE FEASIBLE.
10. PATCH AND REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION TO MATCH EXISTING HISTORIC MATERIALS, PROFILES, TEXTURES AND FINISHES.
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DRAWING SHEET NOTES

- AD101 REMOVE INFILL FROM EXISTING OPENING.
- AD102 REMOVE EXISTING RAILINGS.
- AD103 REMOVE ALL EXISTING NON HISTORIC SIDING.
- AD104 REMOVE EXISTING FIBER CEMENT PANEL BELOW WINDOW.
- AD105 REMOVE PANELS COVERING EXISTING WINDOWS.
- AD106 REMOVE EXISTING STOREFRONT WINDOW AND PREPARE OPENING FOR NEW DOOR. PRESERVE AS MUCH ORIGINAL TRIM IN PLACE AS POSSIBLE.
- AD107 REMOVE EXISTING NON HISTORIC PORTICO.
- AD108 REMOVE EXISTING BRICK STOOP AND PREPARE FOR NEW ACCESSIBLE STOOP.
- AD109 REMOVE EXISTING NON HISTORIC COLUMNS.
- AD110 REMOVE EXISTING VINYL FASCIA.
- AD111 REMOVE EXISTING ROOFING MATERIAL. PREPARE SUBSTRATE FOR NEW ROOF INSTALL.
- AD112 REMOVE EXISTING WALL AND FOUNDATION. PREPARE AREA FOR NEW PORCH.
- AD113 REMOVE EXISTING NON HISTORIC WINDOWS.
- AD114 REMOVE EXISTING VINYL RAILINGS.
- AD115 REMOVE COMPOSITE WRAP FROM COLUMNS. PREPARE FOR NEW COLUMN INSTALL.
- AD116 PROTECT EXISTING ROOF STRUCTURE, FASCIA AND SOFFIT. STABILIZE AND PREPARE FOR CONSTRUCTION OF NEW PORCH BELOW.
- AD117 REMOVE EXISTING WOODEN RAMP, RAILINGS AND FOOTINGS.
- AD118 REMOVE WALL AROUND EDGE OF PORCH FLOOR. PRESERVE FLOORING AND STRUCTURE BEYOND.
- AD119 REMOVE BRICK FOUNDATION AND PREPARE FOR NEW PORCH CONSTRUCTION.
- AD120 REMOVE EXISTING NON HISTORIC EXTERIOR STAIR, RAILINGS, AND FOUNDATION.
- AD121 REMOVE EXISTING NON HISTORIC DOOR AND HARDWARE. PREPARE OPENING FOR NEW DOOR INSTALL.
- AD122 REMOVE EXISTING SIDING.



DESIGN DEVELOPMENT  
SUBMITTAL  
REVIEW ONLY

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HAMILTON HOUSE

SCOTT JENNINGS  
510 N MAIN STREET  
ANDERSON, SC 29621

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DEMO EXTERIOR  
ELEVATIONS

PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL

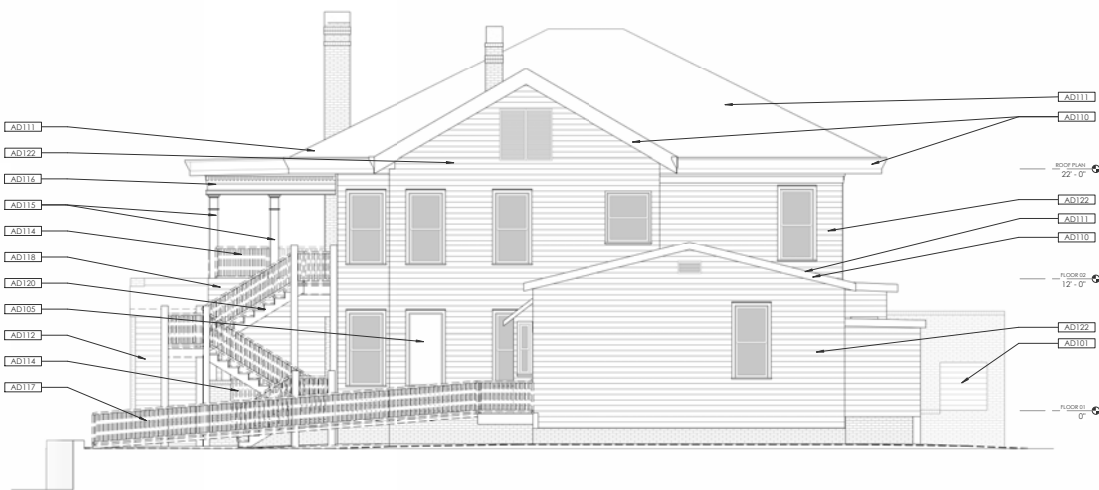
AD401

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8. SALVAGE HISTORIC MATERIALS WHEREVER POSSIBLE FOR REUSE OR REINSTALLATION.
9. EXISTING WOOD TRIM, CORNICES, AND DECORATIVE FEATURES SHALL BE REPAIRED RATHER THAN REPLACED WHERE FEASIBLE.
10. PATCH AND REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION TO MATCH EXISTING HISTORIC MATERIALS, PROFILES, TEXTURES AND FINISHES.
11. DO NOT USE ABRASIVE CLEANING METHODS, SANDBLASTING, OR HIGH PRESSURE WASHING ON HISTORIC MATERIALS.
12. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT MINIMIZES VIBRATION AND DAMAGE TO EXISTING STRUCTURE AND HISTORIC MATERIALS.

DRAWING SHEET NOTES

- AD101 REMOVE INFILL FROM EXISTING OPENING.
- AD102 REMOVE EXISTING RAILINGS.
- AD105 REMOVE PANELS COVERING EXISTING WINDOWS.
- AD107 REMOVE EXISTING NON HISTORIC PORTICO.
- AD108 REMOVE EXISTING BRICK STOOP AND PREPARE FOR NEW ACCESSIBLE STOOP.
- AD109 REMOVE EXISTING NON HISTORIC COLUMNS.
- AD110 REMOVE EXISTING VINYL FASCIA.
- AD111 REMOVE EXISTING ROOFING MATERIAL. PREPARE SUBSTRATE FOR NEW ROOF INSTALL.
- AD112 REMOVE EXISTING WALL AND FOUNDATION. PREPARE AREA FOR NEW PORCH.
- AD114 REMOVE EXISTING VINYL RAILINGS.
- AD115 REMOVE COMPOSITE WRAP FROM COLUMNS. PREPARE FOR NEW COLUMN INSTALL.
- AD116 PROTECT EXISTING ROOF STRUCTURE, FASCIA AND SOFFIT. STABILIZE AND PREPARE FOR CONSTRUCTION OF NEW PORCH BELOW.
- AD117 REMOVE EXISTING WOODEN RAMP, RAILING AND FOOTINGS.
- AD118 REMOVE WALL AROUND EDGE OF PORCH FLOOR. PRESERVE FLOORING AND STRUCTURE BEYOND.
- AD120 REMOVE EXISTING NON HISTORIC EXTERIOR STAIR, RAILINGS, AND FOUNDATION.
- AD122 REMOVE EXISTING SIDING.
- AD123 REMOVE EXISTING CONCRETE STEPS.



**1 EAST ELEVATION**  
3/16" = 1'-0"



**2 NORTH ELEVATION**

DESIGN DEVELOPMENT  
SUBMITTAL  
REVIEW ONLY

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HAMILTON HOUSE

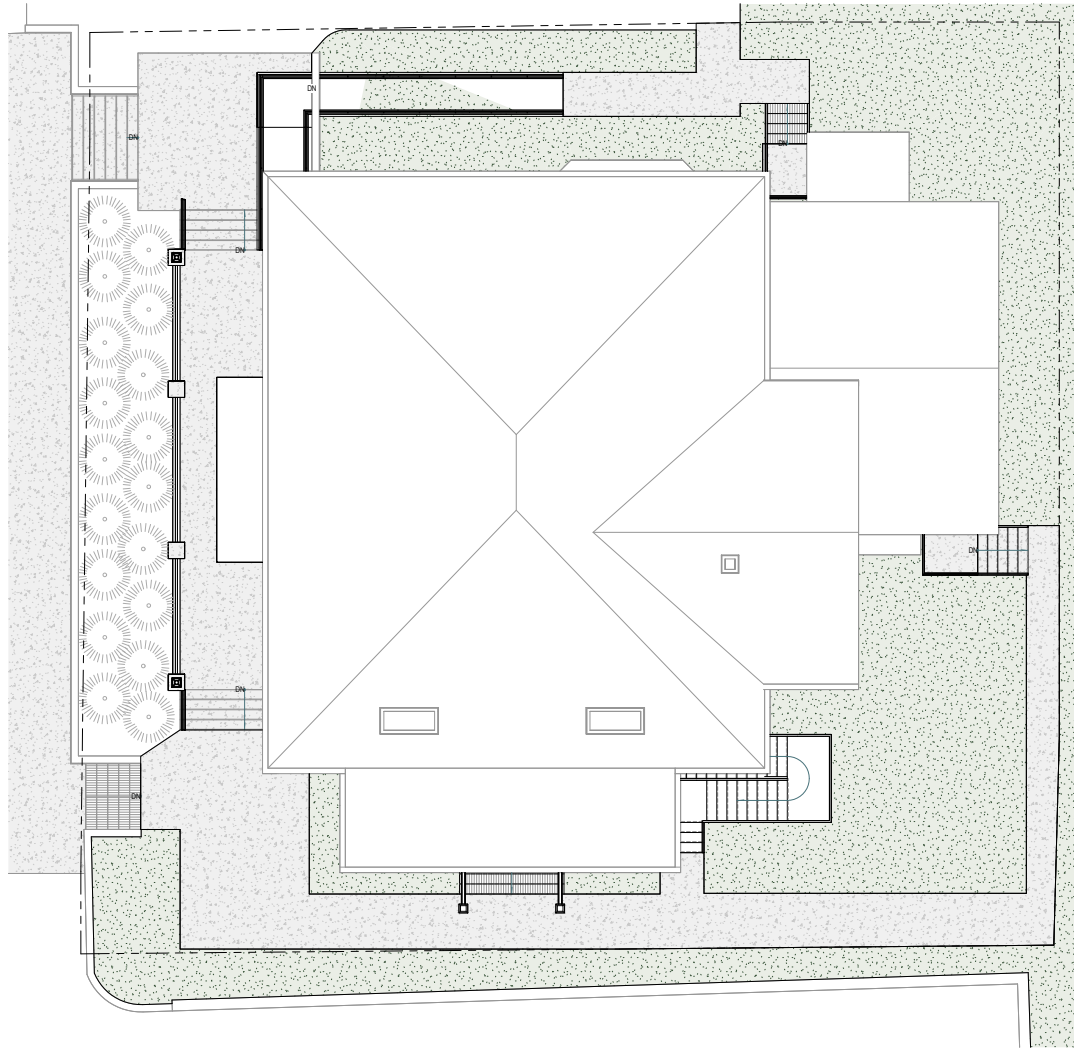
SCOTT JUNIORS  
510 N MAIN STREET  
ANDERSON, SC 29621

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

ARCHITECTURAL SITE PLAN

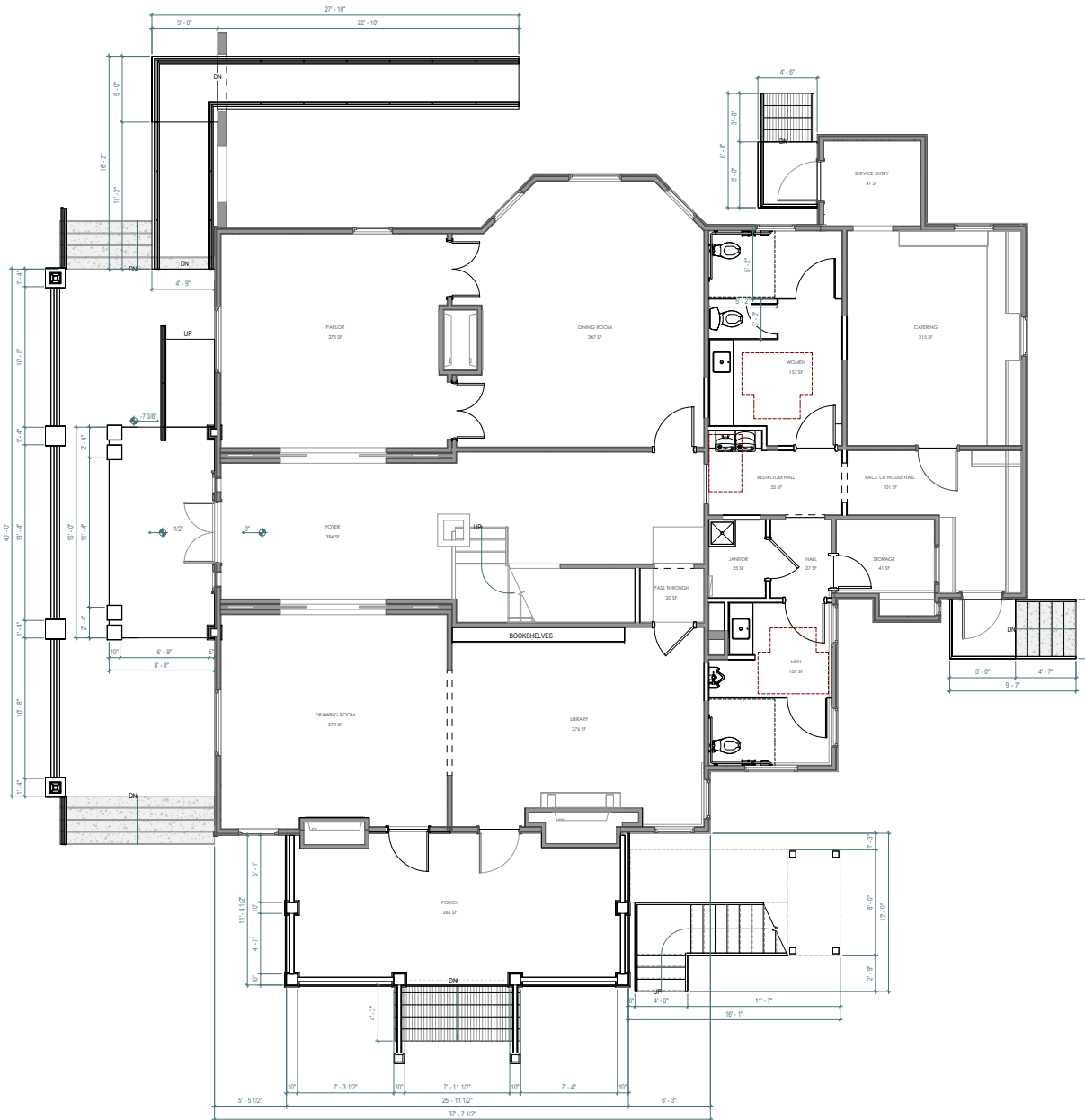
PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL

A100



1 ARCHITECTURAL SITE PLAN

NOTE: SITE PLAN IS SCHEMATIC IN NATURE. A CIVIL  
ENGINEER WILL BE ADDED TO THE PROJECT TEAM DURING A  
LATER PHASE FOR FURTHER SITE DESIGN AND DEVELOPMENT.



**FLOOR PLAN GENERAL NOTES**

1. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND OVERALL DIMENSIONS.
2. WALL DIMENSIONS ARE FROM FACE OF EXISTING WALL TO FACE OF NEW STUD OR MASONRY AND FACE OF NEW STUD OR MASONRY TO FACE OF NEW STUD OR MASONRY - UNLESS NOTED OTHERWISE.
3. INTERIOR DOORS ARE TO BE LOCATED 4 INCHES OFF THE FACE OF THE WALL - UNLESS NOTED OTHERWISE.

DESIGN DEVELOPMENT  
SUBMITTAL  
REVIEW ONLY

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**HAMILTON HOUSE**

SCOTT J. JENNINS  
510 N MAIN STREET  
ANDERSON, SC 29621

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

**NOTED FLOOR PLAN  
LEVEL 01**

PROJECT NUMBER:	2603
DATE:	26 MAY 2024
DRAWN BY:	SSL

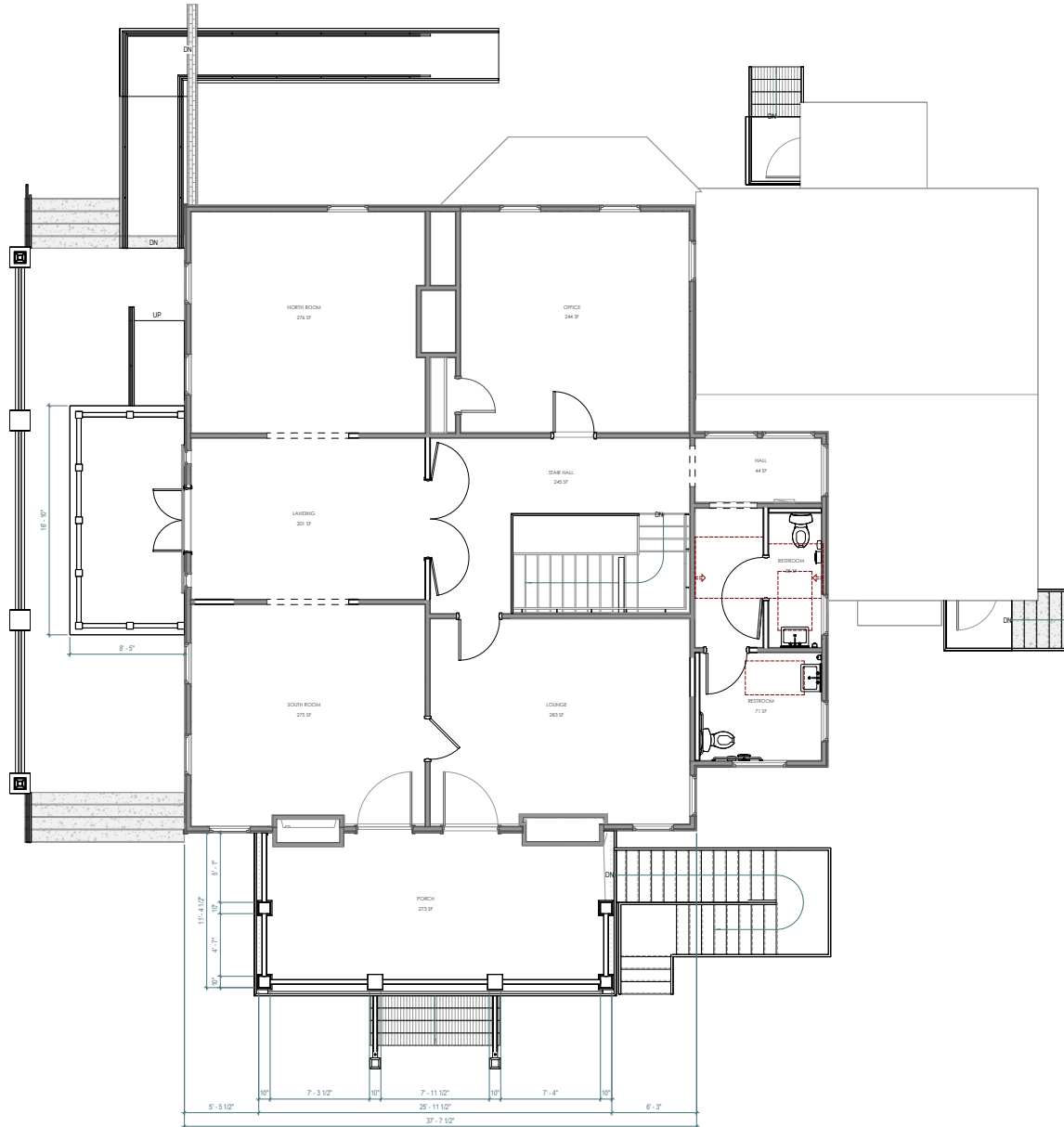
**A101**

FLOOR PLAN GENERAL NOTES

1. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND OVERALL DIMENSIONS.
2. WALL DIMENSIONS ARE FROM FACE OF EXISTING WALL TO FACE OF NEW STUD OR MASONRY AND FACE OF NEW STUD OR MASONRY TO FACE OF NEW STUD OR MASONRY - UNLESS NOTED OTHERWISE.
3. INTERIOR DOORS ARE TO BE LOCATED 4 INCHES OFF THE FACE OF THE WALL - UNLESS NOTED OTHERWISE.

DESIGN DEVELOPMENT  
SUBMITTAL  
REVIEW ONLY

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1 FLOOR 02 - NOTED

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

NOTED FLOOR PLAN  
LEVEL 02

PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL

A102

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

**EXTERIOR ELEVATIONS**

PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL

A401

**EXTERIOR GENERAL NOTES**

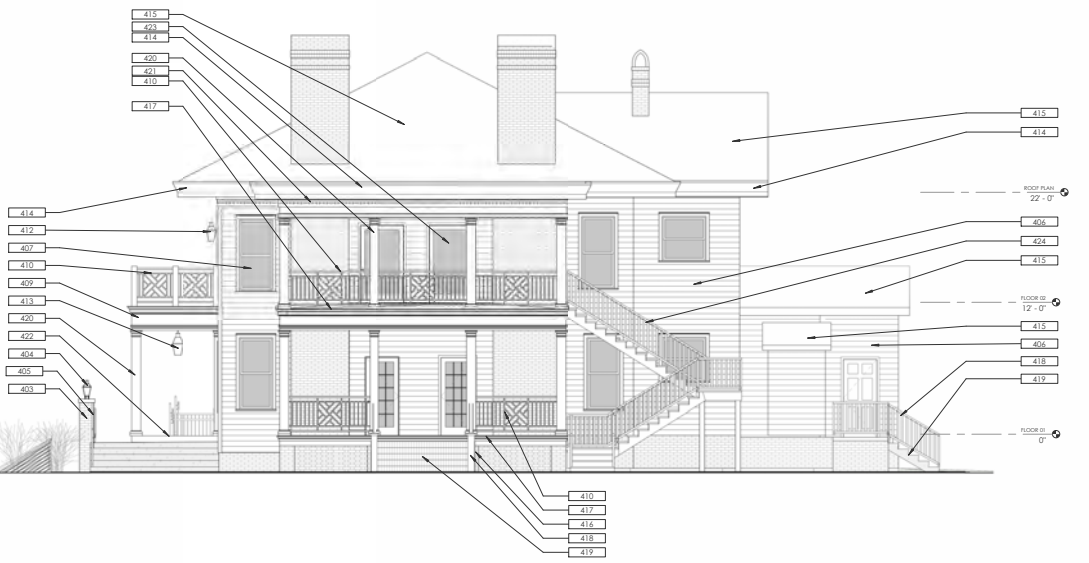
1. PRESERVE ALL HISTORIC WOOD WINDOWS. WINDOWS SHALL BE CAREFULLY REPAIRED, RESTORED AND RETURNED TO WORKING ORDER BY A SPECIALIST EXPERIENCED IN HISTORIC WINDOW RESTORATION. RETAIN EXISTING HISTORIC MATERIAL AND CHARACTER DEFINING FEATURES TO THE GREATEST EXTENT POSSIBLE.
2. REMOVE ONLY THOSE MATERIALS SPECIFICALLY IDENTIFIED FOR DEMOLITION. ITEMS NOT INDICATED TO BE REMOVED SHALL REMAIN AND BE PROTECTED.
3. SALVAGE HISTORIC MATERIALS WHEREVER POSSIBLE FOR REUSE OR REINSTALLATION.
4. EXISTING WOOD TRIM, CORNICES, AND DECORATIVE FEATURES SHALL BE REPAIRED RATHER THAN REPLACED WHERE FEASIBLE. WHERE HISTORIC MATERIALS ARE DETERIORATED BEYOND REPAIR, REPLACEMENTS SHALL MATCH ORIGINAL IN MATERIAL, PROFILE, DIMENSION AND FINISH TO THE GREATEST EXTENT POSSIBLE.
5. PATCH AND REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION TO MATCH EXISTING HISTORIC MATERIALS, PROFILES, TEXTURES AND FINISHES.
6. DO NOT USE ABRASIVE CLEANING METHODS, SANDBLASTING, OR HIGH-PRESSURE WASHING ON HISTORIC MATERIALS.
7. ANY PREVIOUSLY CONCEALED HISTORIC FEATURES OR CONDITIONS DISCOVERED DURING DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL OR MODIFICATION.

**DRAWING SHEET NOTES**

- 401 NEW ACCESSIBILITY RAMP WITH BRICK PAVING, CURBS AND EDGES. RAILING TO BE WROUGHT IRON.
- 402 ENLARGE AND REINFORCE EXISTING OPENING TO ALLOW RAMP TO PASS THROUGH WITH PROPER CLEARANCE.
- 403 NEW 18 INCH X 18 INCH BRICK PILLAR.
- 404 NEW POST MOUNTED GAS LANTERN.
- 405 NEW WROUGHT IRON SAFETY RAIL.
- 406 NEW HARDE PLANK LAP SIDING WITH SMOOTH FINISH. LAP SIDING EXPOSURE TO MATCH EXPOSURE OF ORIGINAL DAMAGED WOOD SIDING ON REAR OF BUILDING. VERIFY DIMENSIONS IN FIELD.
- 407 PROTECT AND RESTORE ORIGINAL WOOD WINDOWS, TYPICAL.
- 408 RESTORE EXISTING DOOR AND SURROUND TO WORKING ORDER. INSTALL NEW ACCESSIBLE HARDWARE.
- 409 NEW WOOD PORTICO WITH DOUBLE SQUARE COLUMNS AND SINGLE SQUARE PLASTER BEACBOARD CEILING. PRIME AND PAINT. COLOR PER ARCHITECT.
- 410 NEW WOOD CHIPPENDALE GUARD RAIL. TOP OF RAIL TO BE 42 INCHES MINIMUM ABOVE ADJACENT BALCONY SURFACE. ARRANGE RAIL COMPONENTS TO PREVENT THE PASSAGE OF A 4 INCH DIAMETER SPHERE. PRIME AND PAINT. COLOR PER ARCHITECT.
- 411 NEW WOOD AND GLASS DOOR. MODIFY EXISTING WINDOW CASING TO ALLOW FOR DOOR INSTALL.
- 412 NEW GAS LANTERN SCIENCE.
- 413 NEW PENDANT MOUNT GAS LANTERN.
- 414 EXPOSE ORIGINAL ROOF FASCIA AND SOFFIT. REAR IN KIND AS REQUIRED. PREPARE SURFACES BY SCRAPING AND SANDING PRIOR TO PRIMING AND PAINTING. COLOR PER ARCHITECT.
- 415 NEW STANDING SEAM METAL ROOF.
- 416 NEW 18 INCH X 18 INCH BRICK FOUNDATION PIERS WITH LATTICE BRICK INFILL.
- 417 NEW TAG WOOD PORCH FLOORING OVER PRESSURE TREATED WOOD FRAMING CONSTRUCTION. SLOPE PORCH FLOOR AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- 418 NEW WOOD GUARD RAIL AND HANDRAIL.
- 419 NEW BRICK STEPS.
- 420 NEW 10 INCH X 10 INCH SQUARE WOOD COLUMNS.
- 421 PRESERVE EXISTING PORCH ROOF STRUCTURE, SOFFIT AND FASCIA. REPAIR AND REPLACE DAMAGED TRIM IN KIND WHERE NECESSARY. SCRAPE, SAND, PRIME AND PAINT. COLOR PER ARCHITECT.
- 422 NEW BRICK PAVER STOOP.
- 423 PROTECT AND RESTORE HISTORIC WOOD AND GLASS DOORS, TYPICAL.
- 424 NEW WOOD EGRESS STAR WITH WOOD GUARD RAIL AND HAND RAIL. STAIN TRUCKS. COLOR PER ARCHITECT. ALL OTHER WOOD TO BE PRIMED AND PAINTED. COLOR PER ARCHITECT.



1 WEST ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION



1 EAST ELEVATION  
3/16" = 1'-0"



2 NORTH ELEVATION

EXTERIOR GENERAL NOTES

1. PRESERVE ALL HISTORIC WOOD WINDOWS. WINDOWS SHALL BE CAREFULLY REPAIRED, RESTORED AND RETURNED TO WORKING ORDER BY A SPECIALIST EXPERIENCED IN HISTORIC WINDOW RESTORATION. RETAIN EXISTING HISTORIC MATERIAL AND CHARACTER DEFINING FEATURES TO THE GREATEST EXTENT POSSIBLE.
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- 401 NEW ACCESSIBILITY RAMP WITH BRICK PAVING, CURBS AND EDGES. RAILING TO BE WROUGHT IRON.
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- 403 NEW 18 INCH X 18 INCH BRICK PILLAR.
- 404 NEW POST MOUNTED GAS LANTERN.
- 405 NEW WROUGHT IRON SAFETY RAIL.
- 406 NEW HARDIE PLANK LAP SIDING WITH SMOOTH FINISH. LAP SIDING EXPOSURE TO MATCH EXPOSURE OF ORIGINAL DAMAGED WOOD SIDING ON REAR OF BUILDING. VERIFY DIMENSIONS IN FIELD.
- 407 PROTECT AND RESTORE ORIGINAL WOOD WINDOWS, TYPICAL.
- 409 NEW WOOD PORTICO WITH DOUBLE SQUARE COLUMNS AND SINGLE SQUARE PLASTER BEACBOARD CEILING. PRIME AND PAINT. COLOR PER ARCHITECT.
- 410 NEW WOOD CHIPPENDALE GUARD RAIL. TOP OF RAIL TO BE 42 INCHES MINIMUM ABOVE ADJACENT BALCONY SURFACE. ARRANGE RAIL COMPONENTS TO PREVENT THE PASSAGE OF A 4 INCH DIAMETER SPHERE. PRIME AND PAINT. COLOR PER ARCHITECT.
- 412 NEW GAS LANTERN SCENCE.
- 413 NEW PENDANT MOUNT GAS LANTERN.
- 414 EXPOSE ORIGINAL ROOF FASCIA AND SOFFIT. REAR IN KIND AS REQUIRED. PREPARE SURFACES BY SCRAPING AND SANDING PRIOR TO PRIMING AND PAINTING. COLOR PER ARCHITECT.
- 415 NEW STANDING SEAM METAL ROOF.
- 417 NEW T&G WOOD PORCH FLOORING OVER PRESSURE TREATED WOOD FRAMING CONSTRUCTION. SLOPE PORCH FLOOR AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- 418 NEW WOOD GUARD RAIL AND HANDRAIL.
- 419 NEW BRICK STEPS.
- 420 NEW 10 INCH X 10 INCH SQUARE WOOD COLUMNS.
- 421 PRESERVE EXISTING PORCH ROOF STRUCTURE. SOFFIT AND FASCIA. REPAIR AND REPLACE DAMAGED TRIM IN KIND WHERE NECESSARY. SCRAPE, SAND, PRIME AND PAINT. COLOR PER ARCHITECT.
- 422 NEW BRICK PAVEMENT STOOP.
- 424 NEW WOOD EGRESS STAR WITH WOOD GUARD RAIL AND HAND RAIL. STAIN TREADS. COLOR PER ARCHITECT. ALL OTHER WOOD TO BE PRIMED AND PAINTED. COLOR PER ARCHITECT.

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

EXTERIOR  
ELEVATIONS

PROJECT NUMBER:	2603
DATE:	26 MAY 2026
DRAWN BY:	SSL

A402



1 PROPOSED VIEW 1



1 PROPOSED VIEW 2

**STAFF REPORT**  
**CITY OF ANDERSON BOARD OF ARCHITECTURAL REVIEW**

Application Number: BAR-26-24

Applicant: Jordan Belland

Property Address: 1017 and 1013 S Main (Anderson Historic District)

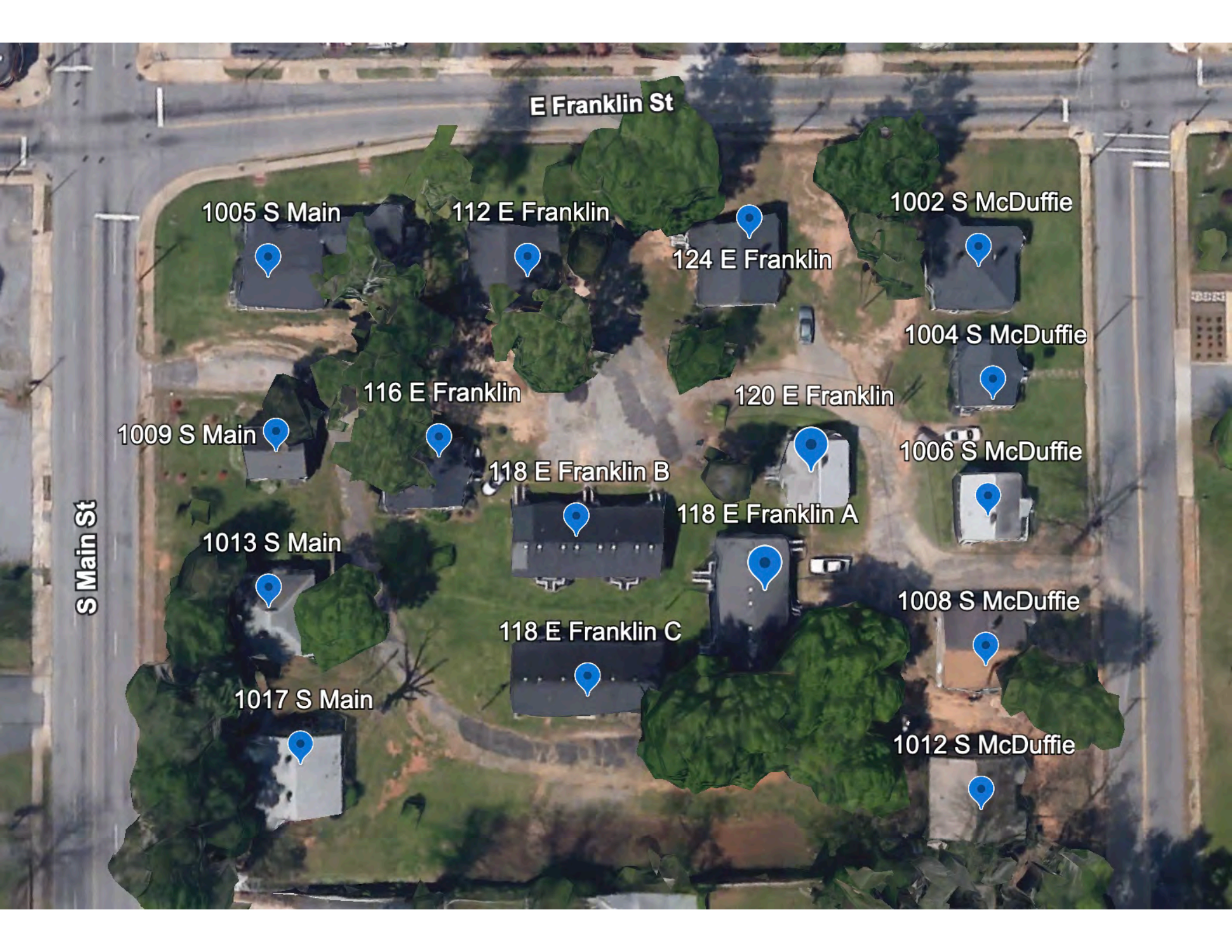
Zoning of Property: GC, General Commercial District

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**ANALYSIS**

The applicant is requesting approval to demolish two structures; 1017 and 1013 S Main, that have been vacant for many years. These were deemed un-salvageable by the owners contractor. The owner believes the removal of these structures would improve safety and curb appeal of the remaining units on the property.

Since the structures do not contribute to the historic character of the district and because of its advanced deterioration, Staff recommends approval of this request.



E Franklin St

1005 S Main

112 E Franklin

124 E Franklin

1002 S McDuffie

1004 S McDuffie

116 E Franklin

120 E Franklin

1009 S Main

118 E Franklin B

118 E Franklin A

1006 S McDuffie

1013 S Main

118 E Franklin C

1008 S McDuffie

1017 S Main

1012 S McDuffie

S Main St



12H02

